

LOCATION PLAN N.T.S.

LEGEND

UTILITY SERVICES (UNDERGROUND OR OVERHEAD)	
E	ELECTRIC SERVICE
G	GAS PIPES
SAN	SANITARY SEWER PIPES
-----	STORM WATER PIPES (LESS THAN 12")
-----	STORM WATER PIPES (12" OR LARGER)
STM	STEAM PIPES (SUPPLY & COND.)
T	TELEPHONE SERVICE
W	WATER PIPES
COM	COMMUNICATION/FIBER OPTIC SERVICE
FP	FIRE PROTECTION PIPES
UG	UNKNOWN UTILITY SERVICE
OH	OVERHEAD WIRES

PROPERTY/BOUNDARY LINES	
---	PROPERTY/BOUNDARY LINES (CLASS A-2)
---	PROPERTY/BOUNDARY LINES (CLASS D)
---	EASEMENT LINES

FEATURE LINES	
---	CURBED ROADWAY
---	EDGE OF PAVED ROAD/DRIVE
---	BUILDING ROOFLINE (AERIAL PHOTOS)
---	RETAINING WALL
---	STOCKADE FENCE
---	CHAIN LINK/WIRE FENCE
---	TREE/VEGETATION LINE
---	STONE WALL
---	SURFACE WATER (WATERCOURSE)
---	WETLANDS LIMIT
---	EDGE OF LANDSCAPING
---	INTERMEDIATE CONTOUR
---	INDEX CONTOUR

SYMBOL LEGEND	
□	CATCH BASIN
○	ROUND DRAIN
○	SQUARE DRAIN
○	SANITARY MANHOLE
○	STORM DRAIN MANHOLE
○	SANITARY MANHOLE CONC.
○	STEAM MANHOLE
○	TELEPHONE MANHOLE
○	WATER MANHOLE
○	MANHOLE (OF UNKNOWN TYPE)
○	HAND HOLE (SQ. / REC.)
○	WATER VALVE
○	G.G.
○	HYDRANT
○	COMBO STANDPIPE
○	GUY WIRE
○	SIGN (SINGLE POST)
○	SIGN (DOUBLE POST)
○	BORING (AS DRILLED)
○	BORING (AS STAKED)
○	SPOT ELEVATION
○	WETLANDS FLAG
○	PROPERTY MONUMENT
○	UTILITY MONUMENT (SET AS 2' OFFSET)
○	IRON PIPE OR REBAR FOUND
○	IRRIGATION CONTROL BOX
○	EMERGENCY PHONE
○	TRAFFIC CONTROLLER CABINET
○	UTILITY POLE
○	UTILITY POLE W/ LIGHT
○	STREET LIGHT
○	LIGHT POST
○	BOLLARD LIGHT
○	BOULDER / ROCK
○	CONIFER SHRUB
○	DECIDUOUS SHRUB
○	DECIDUOUS TREE (SAPLING)
○	DECIDUOUS TREE
○	CONIFER TREE

ABBREVIATIONS	
A/C	AIR CONDITIONER
AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY
B/F	BUTTERWOODS
BLK.	BLACK
CB	CATCH BASIN
COM	COMMUNICATION
CONC.	CONCRETE
CNG	CONNECTICUT NATURAL GAS
CL	CENTERLINE
CLP	CHAIN LINK FENCE
CLAP	CONNECTICUT LIGHT & POWER COMPANY
CP	CONTROL POINT
DEC.	DECIDUOUS
DMH	DRAINAGE MANHOLE
EL	EAST OR ELECTRIC
EL	ELECTRIC
ELEV	ELEVATION
EMH	ELECTRIC MANHOLE
F.L.	FLOW LINE
FO	FOUND
GRAN.	GRANITE
GSTC	GRANITE STONE CURB
HELCO	HARTFORD ELECTRIC COMPANY
HYD.	HYDRANT
H.H.	HAND HOLE
L.P.	LIGHT POLE
MH	MANHOLE
M	METER
M.M.	MONITOR WELL
N	NORTH
NAD	NORTH AMERICAN DATUM
NAD83	NATIONAL AMERICAN VERTICAL DATUM
NE	NORTHEAST
NW	NORTHWEST
NW	NOW OR FORMERLY
PVC	POLYVINYL CHLORIDE
P.I.V.	POST INDICATOR VALVE
RET.	RETAINING
RCP	REINFORCED CONCRETE PIPE
R.L.	RAW LEADER
S	SOUTH OR SUPPLY
SE	SOUTHEAST
SW	SOUTHWEST
SAN.	SANITARY
SMY	SANITARY MANHOLE
SNT	SOUTHTON NEW ENGLAND TELEPHONE
SD	SQUARE
STM	STEAM
TMH	TELEPHONE MANHOLE
TEL.	TELEPHONE
T.F.	TOP OF FRAME
UNK.	UNKNOWN
W	WATER OR WEST
W.G.	WATER GATE

MAP REFERENCES

- LIBERTY COMMERCE PARK MAP OF LOT -5 BYSEWICZ DRIVE PROPERTY OF LIBERTY COMMERCE PARK, LLC BEING DESIGNATED AS TAX MAP 06, BLOCK 6-1, LOT 105 SITUATED IN THE CITY OF MIDDLETOWN, COUNTY OF MIDDLESEX, STATE OF CONNECTICUT, MAY 17, 2010 PREPARED FOR LIBERTY COMMERCE PARK, LLC 15 MERIDEN ROAD MIDDLEFIELD, CT 06455 BY BSC GROUP.
- BYSEWICZ INDUSTRIAL SUBDIVISION MIDDLE STREET MIDDLETOWN, CONNECTICUT PROPOSED LOT LINE REVISION PLAN LOT 3 & 4 OCTOBER 13, 2014 PREPARED FOR ARMANI RESTORATION INC. 191 FRANKLIN AVENUE HARTFORD, CT 06114 BY THE BSC GROUP.
- COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY dba EVERSOURCE ENERGY ACROSS PROPERTY OF MIDDLETOWN PROPERTIES AND ACROSS PROPERTY OF THE CITY OF MIDDLETOWN BYSEWICZ DRIVE MIDDLETOWN, CT SCALE 1"=40' SEPTEMBER 21, 2015 FILE NO. E5080

SURVEY NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
 - THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY, TOPOGRAPHIC AND GENERAL LOCATION SURVEY.
 - THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY.
 - THE ACCURACIES ARE AS FOLLOWS:

HORIZONTAL CONTROL	CLASS "A-2"
VERTICAL CONTROL	CLASS "V-2"
BOUNDARY	CLASS "A-2"
TOPOGRAPHY	CLASS "T-2"
- THE COORDINATES AND ELEVATIONS DEPICTED ON THE PLAN REPRESENT THE NAD '83 AND THE NAVD '83 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON MAY 14, 2020 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.
- UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESECH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESECH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.
- THE SUBJECT PROPERTY'S CURRENT DEED CAN BE FOUND IN VOLUME 1702 PAGE 635 OF THE CITY OF MIDDLETOWN LAND RECORDS.
- THE PROPERTY LIES WITHIN THE "OTHER AREAS ZONE 'X'" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." PER THE FEMA FLOOD INSURANCE RATE MAP MIDDLESEX COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 103 OF 450 MAP NUMBER: 0900701030 EFFECTIVE DATE: AUGUST 28, 2008.
- TOTAL PARCEL AREA IS 100,002 SQ. FT. = 2.296 AC.
- SEE SHEET SV.02 FOR TOPOGRAPHIC SURVEY.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

David A. Caricchio 6/29/2020
 DAVID A. CARICCHIO, P.L.S. No. 70036 DATE
 ALFRED BENESECH & COMPANY, GLASTONBURY, CONNECTICUT
 (not valid without original signature and embossed seal)



PAPER SPACE LAYOUT NAME:
 TWISTVIEW:
 USER MANAGER NAME:
 PLOT TABLE: STB

REVISIONS	DESCRIPTION
No.	DATE

SURVEY BOOK: 20-02	SURVEYOR: NDC
DRAWN: DAC	CHECKED: RS
APPROVED: DAC	

SCALE: HORIZ. 1" = 40'
 VERT.: NAVD 1983
 SURVEY DATUM: HORIZ. NAVD 1983
 VERT.: NAVD 1983

GRAPHIC SCALE

Prepared By: **benesch**
 Alfred Benesch & Company
 Glastonbury, Connecticut 06033
 Phone (860) 633-8341, Fax: (860) 633-1088
 www.benesch.com

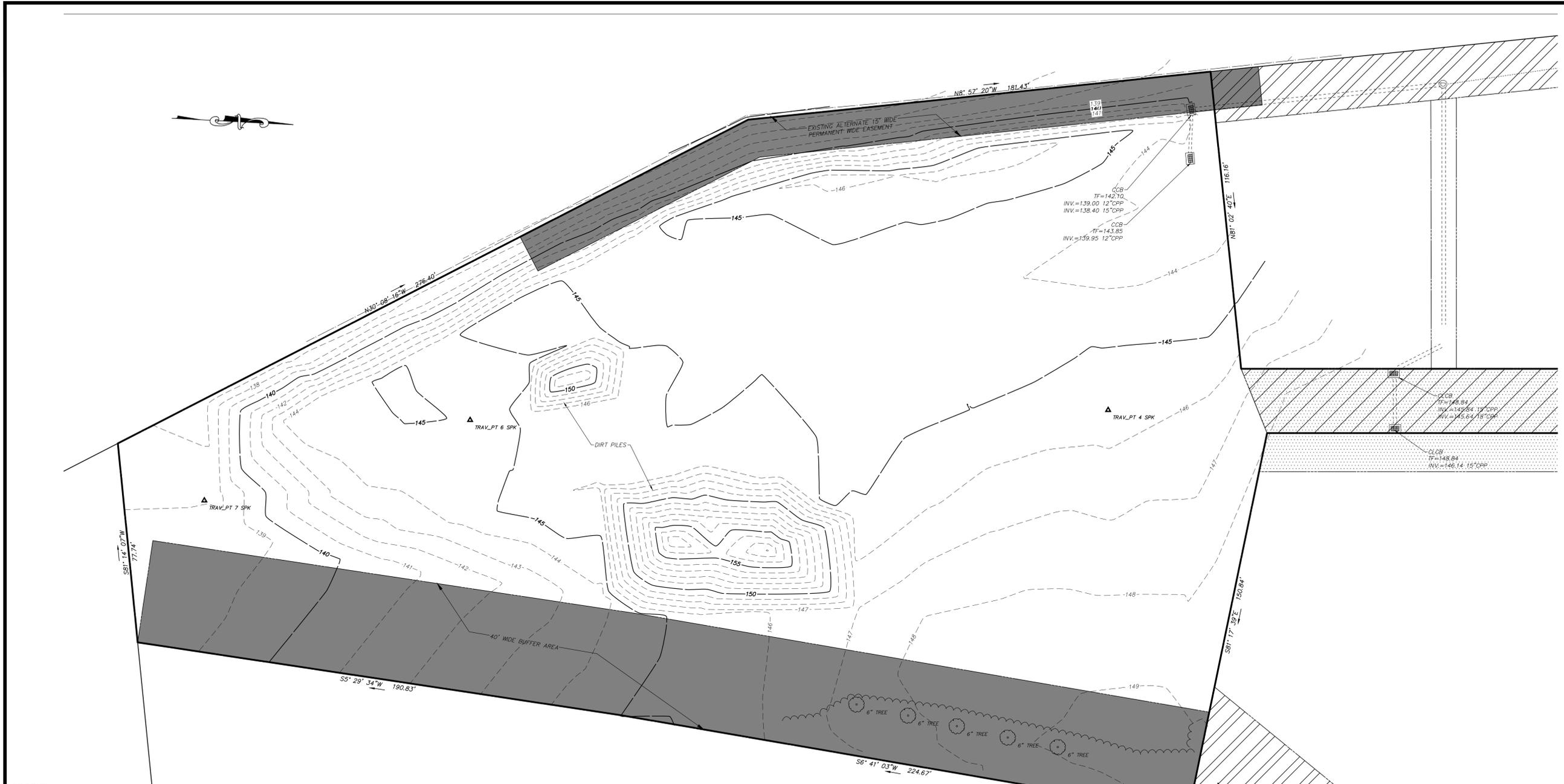
BOUNDARY SURVEY
 PREPARED FOR
ARMANI RESTORATION
 BYSEWICZ DRIVE
 MIDDLETOWN
 CONNECTICUT

PROJ. No.: 70620
 DATE: MAY 21, 2020

SV.01

File Location/Name - Y:\Glastonbury\70602000_Armani_Middletown\Survey\CAD\70620 Base.dwg
 Date of Plot: June 03, 2020 - 11:01 AM

PAPER SPACE LAYOUT NAME:
 TWIST VIEW:
 USER NAME:
 USER MANAGER NAME:
 PLOT TABLE: TB



LEGEND		SYMBOL LEGEND		ABBREVIATIONS	
UTILITY SERVICES (UNDERGROUND OR OVERHEAD)		UTILITY SERVICES (UNDERGROUND OR OVERHEAD)		UTILITY SERVICES (UNDERGROUND OR OVERHEAD)	
E	ELECTRIC SERVICE	□	CATCH BASIN	A/C	AIR CONDITIONER
G	GAS PIPES	○	ROUND DRAIN	AT&T	AMERICAN TELEPHONE & TELEGRAPH COMPANY
SAN	SANITARY SEWER PIPES	■	SQUARE DRAIN	BTK	BLACK
-----	STORM WATER PIPES (LESS THAN 12")	○	ELECTRIC MANHOLE	CB	CATCH BASIN
-----	STORM WATER PIPES (12" OR LARGER)	○	SANITARY MANHOLE	COM	COMMUNICATION
-----	STEAM PIPES (SUPPLY & COND.)	○	STEAM MANHOLE	CONC.	CONCRETE
T	TELEPHONE SERVICE	○	TELEPHONE MANHOLE	CNG	CONNECTICUT NATURAL GAS
W	WATER PIPES	○	WATER MANHOLE	CL	CENTERLINE
COM	COMMUNICATION/FIBER OPTIC SERVICE	○	MANHOLE (OF UNKNOWN TYPE)	CLF	CHAIN LINK FENCE
FP	FIRE PROTECTION PIPES	○	HAND HOLE (SQ. / REC.)	CL&P	CONNECTICUT LIGHT & POWER COMPANY
UG	UNKNOWN UTILITY SERVICE	○	WATER VALVE	CP	CONTROL POINT
OH	OVERHEAD WIRES	○	GAS VALVE	DEC.	DECIDUOUS
PROPERTY/BOUNDARY LINES		PROPERTY/BOUNDARY LINES		PROPERTY/BOUNDARY LINES	
---	PROPERTY/BOUNDARY LINES (CLASS A-2)	○	HYDRANT	DMH	DRAINAGE MANHOLE
---	PROPERTY/BOUNDARY LINES (CLASS D)	○	COMBO STANDPIPE	E	EAST OR ELECTRIC
---	EASEMENT LINES	○	GUY WIRE	EL	ELECTRIC
FEATURE LINES		FEATURE LINES		FEATURE LINES	
---	CURBED ROADWAY	○	SIGN (SINGLE POST)	ELEV	ELEVATION
---	EDGE OF PAVED ROAD/DRIVE	○	SIGN (DOUBLE POST)	EMH	ELECTRIC MANHOLE
---	BUILDING ROOFLINE (AERIAL PHOTOS)	○	BORING (AS DRILLED)	F.L.	FLOW LINE
---	RETAINING WALL	○	BORING (AS STAKED)	FOUND	FOUND
---	STOCKADE FENCE	○	SPOT ELEVATION	GRAN.	GRANITE
---	CHAIN LINK/WIRE FENCE	○	WETLANDS FLAG	GSTC	GRANITE STONE CURB
---	TREE/VEGETATION LINE	○	PROPERTY MONUMENT	HELCO	HARTFORD ELECTRIC COMPANY
---	STONE WALL	○	UTILITY MONUMENT (SET AS 2' OFFSET)	HYD	HYDRANT
---	SURFACE WATER (WATERCOURSE)	○	IRON PIPE OR REBAR FOUND	H.H.	HAND HOLE
---	WETLANDS LIMIT	○	IRRIGATION CONTROL BOX	L.P.	LIGHT POLE
---	EDGE OF LANDSCAPING	○	EMERGENCY PHONE	MH	MANHOLE
---	INTERMEDIATE CONTOUR	○	TRAFFIC CONTROLLER CABINET	M	METER
---	INDEX CONTOUR	○	UTILITY POLE	M.R.	MONITOR WELL
---		○	UTILITY POLE W/ LIGHT	N	NORTH
---		○	LIGHT POST	NAD	NORTH AMERICAN DATUM
---		○	BOLLARD LIGHT	NAD03	NATIONAL AMERICAN VERTICAL DATUM
---		○	BOULDER / ROCK	NE	NORTHEAST
---		○	CONIFER SHRUB	NW	NORTHWEST
---		○	DECIDUOUS SHRUB	PVC	POLYVINYL CHLORIDE
---		○	DECIDUOUS TREE (SAPLING)	P.I.V.	POST INDICATOR VALVE
---		○	DECIDUOUS TREE	R.C.P.	REINFORCED CONCRETE PIPE
---		○	CONIFER TREE	R.L.	RAW LEADER
		○		S	SOUTH OR SUPPLY
		○		SE	SOUTHEAST
		○		SW	SOUTHWEST
		○		SAN.	SANITARY
		○		SMH	SANITARY MANHOLE
		○		SNET	SOUTHWEST NEW ENGLAND TELEPHONE
		○		SD	SQUARE
		○		STM	STEAM
		○		TEL	TELEPHONE
		○		TOP OF FRAME	TOP OF FRAME
		○		UNK.	UNKNOWN
		○		W	WEST
		○		W.G.	WATER GATE



TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

David A. Caricchio 6/29/2020
 DAVID A. CARICCHIO, P.L.S. No. 70036 DATE
 ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
 (not valid without original signature and embossed seal)

SURVEY BOOK: 20-02		REVISIONS	
SURVEYOR: NDC		No.	DATE
DRAWN: DAC		DESCRIPTION	
CHECKED: RS			
APPROVED: DAC			

SCALE: HORIZ. 1" = 20'
 VERT.: 1" = 20'

SURVEY DATUM: HORIZ.: NAD 1983
 VERT.: NAVD 1988

GRAPHIC SCALE

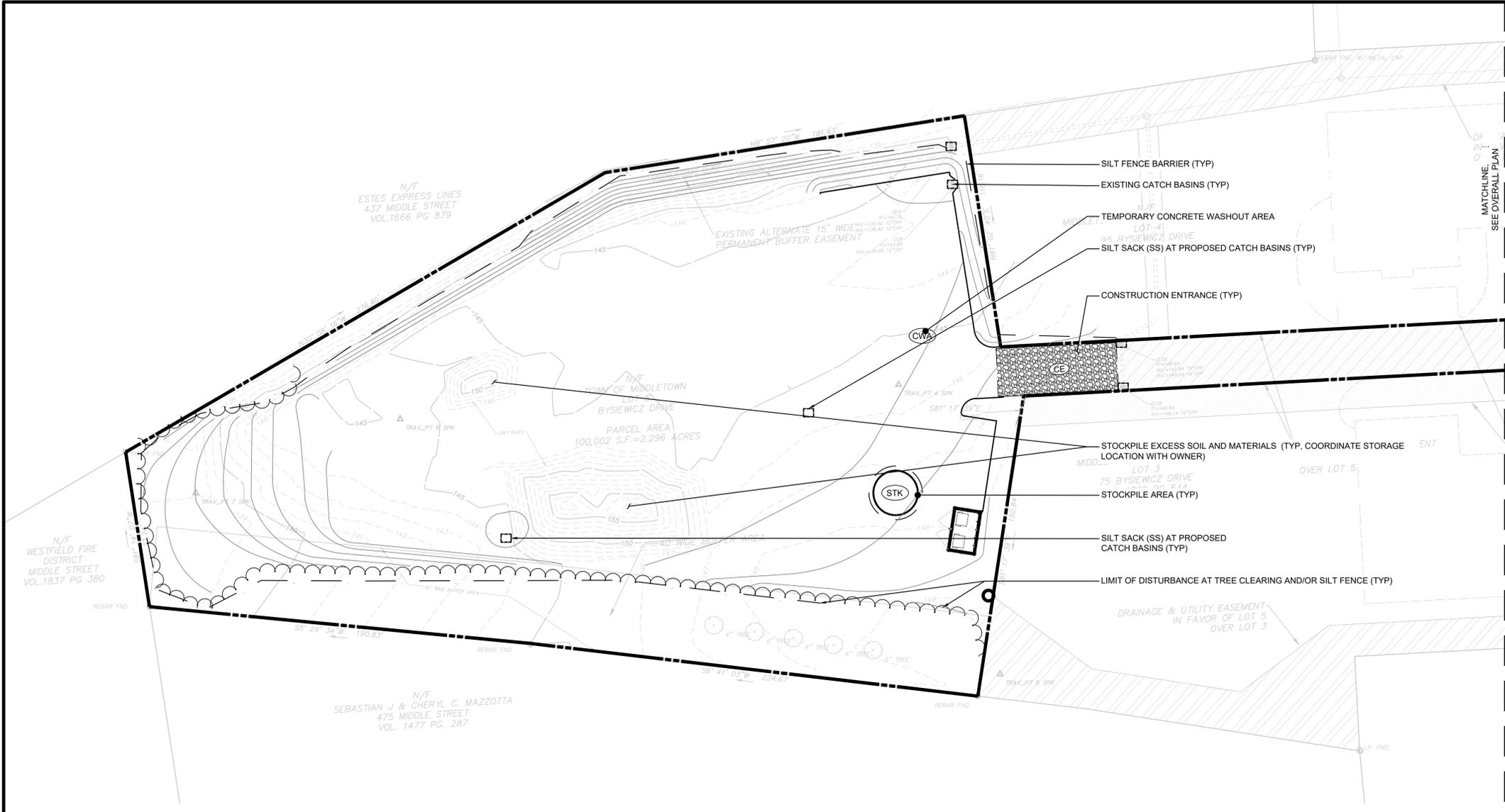
Prepared By: **benesch**
 Alfred Benesch & Company
 Glastonbury, Connecticut 06033
 Phone (860) 633-8341, Fax: (860) 633-1088
 www.benesch.com

TOPOGRAPHIC SURVEY
 PREPARED FOR
ARMANI RESTORATION
 BYSIEWICZ DRIVE
 MIDDLETOWN CONNECTICUT

PROJ. No.: 70620
 DATE: MAY 21, 2020

SV.02

File Location/Name - Y:\Glastonbury\706008\7062000_Armani_Middletown\Survey\ACAD\70620 Base.dwg
 Date of Plot: June 03, 2020 8:16 AM



LEGEND

	PROPERTY LINE
	PROPOSED CONTOUR
	SILT FENCE BARRIER
	SILT SACK (SS)
	PROPOSED CONTOUR REFER TO GRADING PLAN
	TEMPORARY CONCRETE WASHOUT
	TEMPORARY STOCKPILE
	CONSTRUCTION ENTRANCE

Prepared by:

 Alfred Benesch & Company
 120 Hebron Avenue
 Glastonbury, Connecticut 06033
 860-633-8341

Prepared for:
 ARCONN Realty, LLC
 95 Bysiewicz Drive
 Middletown, CT 06457

**SITE DEVELOPMENT
 LOT #5
 BYSIEWICZ INDUSTRIAL
 SUBDIVISION**
 MIDDLETOWN, CONNECTICUT
 BYSIEWICZ DRIVE

1 PLAN VIEW

Scale: 1" = 30'

SUGGESTED CONSTRUCTION SEQUENCE:

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. INSTALL CONSTRUCTION ENTRANCE(S) AND PLACE CATCH BASIN FILTER INSERTS IN EXISTING CATCH BASINS.
3. INSTALL PERIMETER E&S CONTROLS AND REQUEST PRE-CONSTRUCTION INSPECTION FROM THE ENGINEER.
4. PERFORM BULK EARTHWORK OPERATIONS.
5. BEGIN CONSTRUCTION OF SIDEWALK.
6. CONSTRUCT UTILITIES.
7. BOX OUT PARKING LOT WITH IMPORTED BASE MATERIALS.
8. CONSTRUCT BOTTOM COURSE OF BITUMINOUS PAVEMENT.
9. CONSTRUCT LANDSCAPING AND OTHER SITE AMENITIES.
10. CONSTRUCT CURBING AND TOP COURSE OF BITUMINOUS PAVEMENT.
11. AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.

TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE

E&S MEASURE	MAINTENANCE MEASURES	SCHEDULE
FILTER INSERTS IN DRAINAGE SYSTEM	CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
HAY BALES/ SILT FENCE BARRIER	REPAIR/REPLACE WHEN FAILURE OBSERVED, REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER	WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
TARP TEMPORARY STOCKPILES	ENSURE TARP IS SECURED OVER STOCKPILE AT THE END OF EACH DAY	DAILY
CONSTRUCTION ENTRANCE	SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL	WEEKLY
MOISTEN EXPOSED SOILS	PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP	DAILY

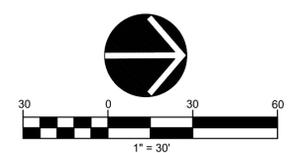
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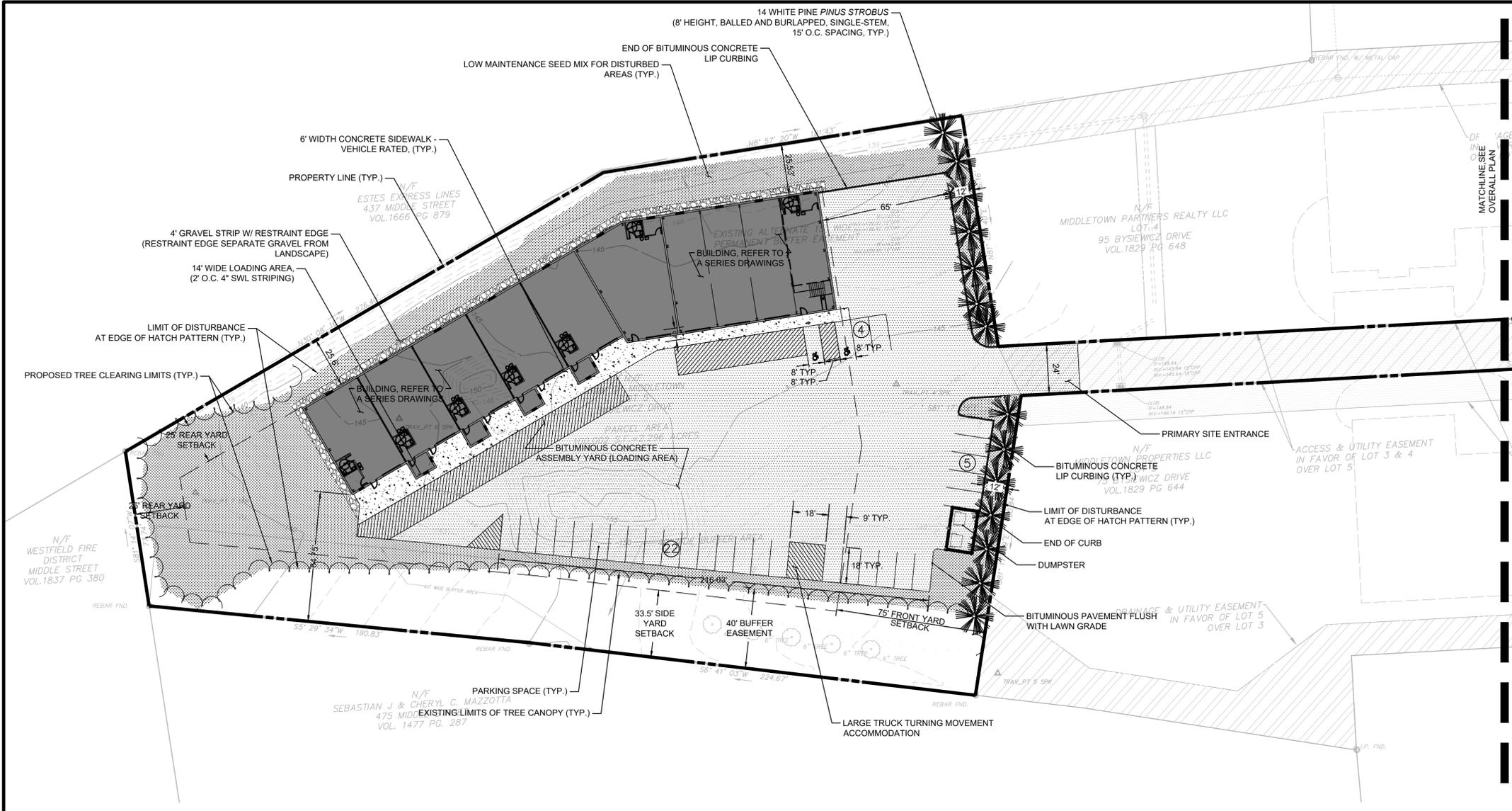


PROJECT NO.: 70620
 SCALE: AS SHOWN
 DATE: OCTOBER 2, 2020
 DRAWN BY: JPE
 CHECKED BY: WGW

**SITE
 PREPARATION
 PLAN**

DRAWING NO.:
C-1.1





LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- TREE CLEARING LIMITS
- VEHICLE PARKING SPACES
- BITUMINOUS CONCRETE PAVEMENT
- LOW MAINTENANCE SEED MIX
- CONCRETE WALK
- PROPOSED BUILDING
- BUILDING ENTRANCE

Prepared by:

 Alfred Benesch & Company
 120 Hebron Avenue
 Glastonbury, Connecticut 06033
 860-633-8341

Prepared for:
 ARCONN Realty, LLC
 95 Bysiewicz Drive
 Middletown, CT 06457

SITE DEVELOPMENT
LOT #5
BYSEWICZ INDUSTRIAL
SUBDIVISION
 MIDDLETOWN, CONNECTICUT
 BYSEWICZ DRIVE

1 PLAN VIEW

Scale: 1" = 30'

LAYOUT NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
2. UNLESS OTHERWISE NOTED OR DETAILED, MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH CT DOT FORM 818 AND THE CITY OF MIDDLETOWN SPECIFICATIONS.
3. CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
4. NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
6. INSTALL PLANTING SOIL AT ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
7. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
8. ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
9. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
11. CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
12. CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
13. MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
14. PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
15. PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.

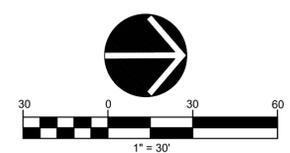
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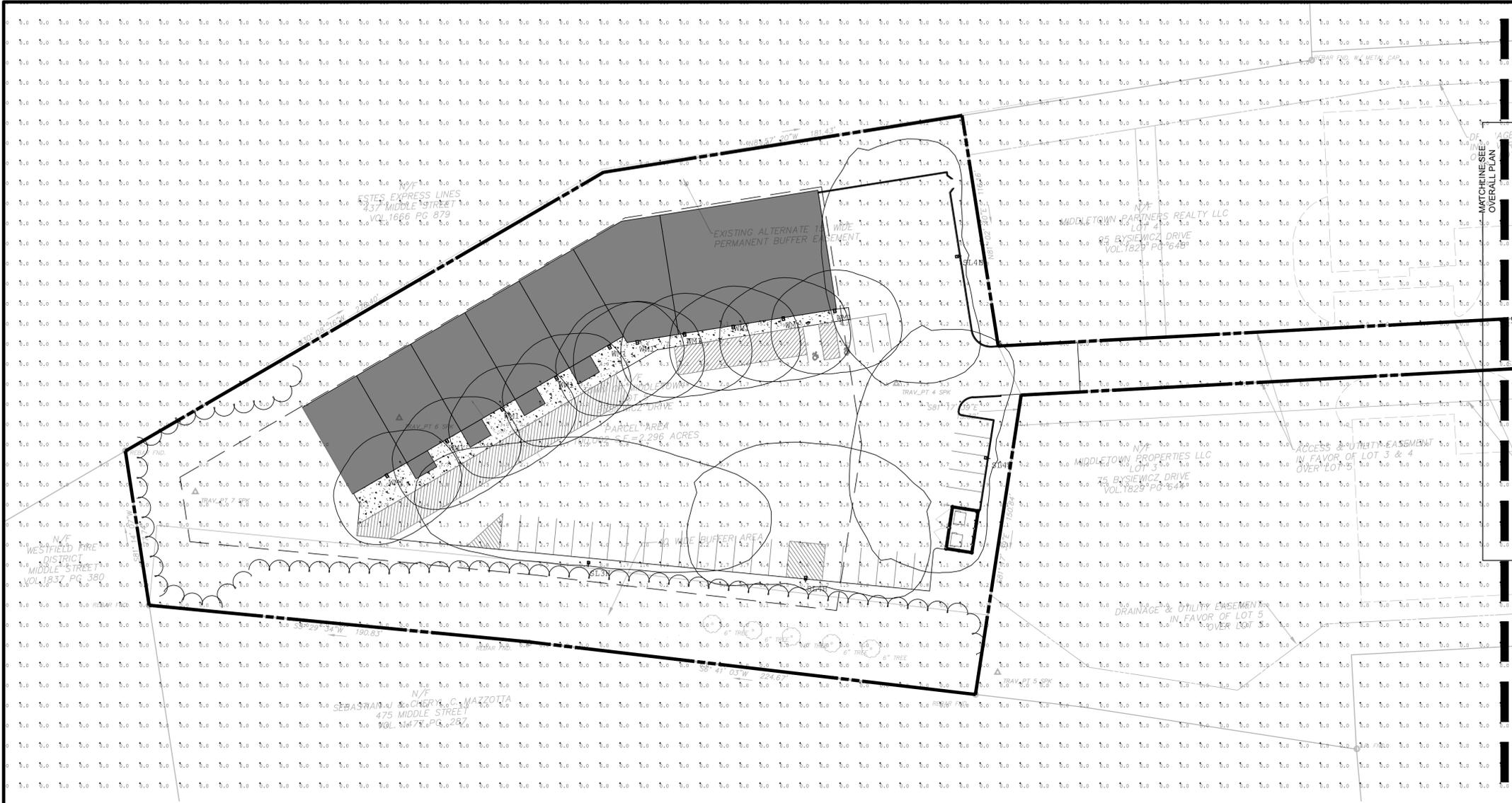
PROJECT NO.: 70620 DRAWN BY: JPE
 SCALE: AS SHOWN CHECKED BY: WGW
 DATE: OCTOBER 2, 2020

LAYOUT AND MATERIALS PLAN

DRAWING NO.:
C-2.1



SURVEY REFERENCE
 SURVEY INFORMATION FROM PLAN ENTITLED: "BOUNDARY - TOPOGRAPHIC SURVEY"
 PREPARED BY ALFRED BENESCH AND COMPANY FOR ARCONN REALTY, LLC, 1" = 30',
 DATED MAY 2020.



LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- TREE CLEARING LIMITS
- CONCRETE WALK
- PROPOSED BUILDING

Prepared by:
benesch
 Alfred Benesch & Company
 120 Hebron Avenue
 Glastonbury, Connecticut 06033
 860-633-8341

Prepared for:
 ARCONN Realty, LLC
 95 Bysiewicz Drive
 Middletown, CT 06457

SITE DEVELOPMENT
LOT #5
BY SIEWICZ INDUSTRIAL
SUBDIVISION
 MIDDLETOWN, CONNECTICUT
 BY SIEWICZ DRIVE

1 PLAN VIEW

Scale: 1" = 30'

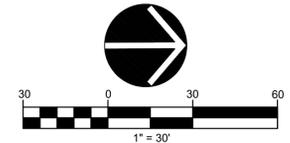
Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
1	SL3H	SINGLE	19584	215.9	0.850	B1-U0-G4	U.S. ARCHITECTURAL R2R-PLD-III-W-80LED-875mA-NW-VOLT-FINISH-HS / MOUNTED TO SNTS5-255-11-MOUNT-FINISH
3	SL4H	SINGLE	20667	215.9	0.850	B1-U0-G4	U.S. ARCHITECTURAL R2R-PLD-IV-80LED-875mA-NW-VOLT-FINISH-HS / MOUNTED TO SNTS5-255-11-MOUNT-FINISH
10	WM1	SINGLE	5909	43.4	0.850	B1-U0-G2	U.S. ARCHITECTURAL R2R-WM1-PLD-IV-20LED-700mA-NW-VOLT-FINISH / WALL MOUNTED AT 14FT AFG TO BOF

Calculation Summary						
Label	Grid Z	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0	0.19	7.4	0.0	N.A.	N.A.
PARKING LOT		2.53	7.4	0.0	N.A.	N.A.

DATE:	REVISION:

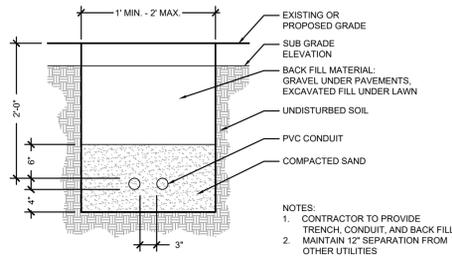


PROJECT NO.: 70620
 SCALE: AS SHOWN
 DATE: OCTOBER 2, 2020
 DRAWN BY: JPE
 CHECKED BY: GWG

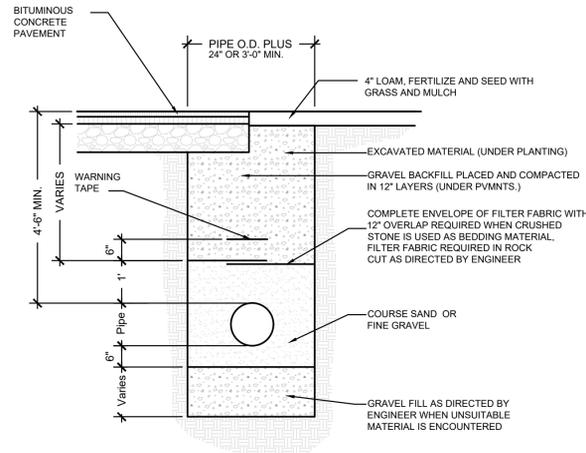


SURVEY REFERENCE
 SURVEY INFORMATION FROM PLAN ENTITLED: "BOUNDARY - TOPOGRAPHIC SURVEY"
 PREPARED BY ALFRED BENESCH AND COMPANY FOR ARCONN REALTY, LLC, 1" = 30',
 DATED MAY 2020.

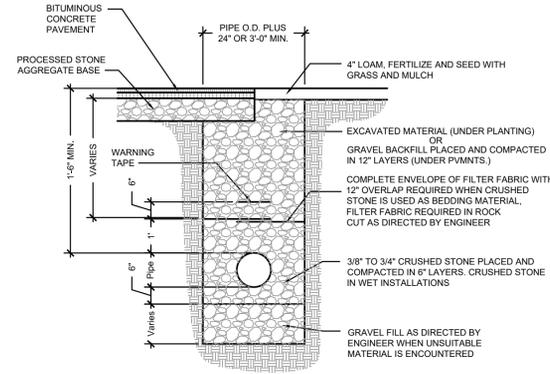
LIGHTING PLAN
 DRAWING NO.:
C-4.1



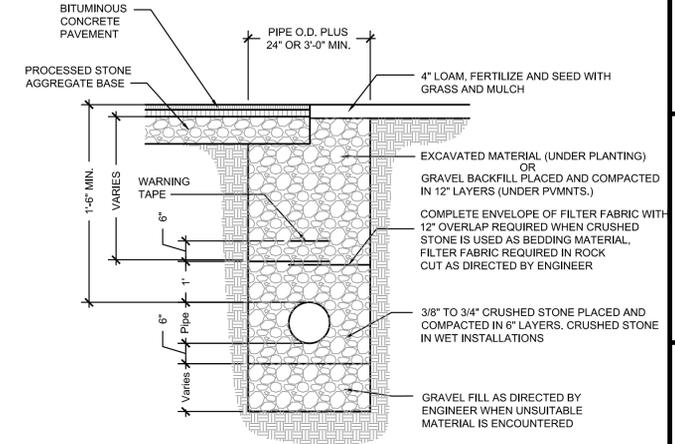
ELECTRICAL TRENCH
SCALE: NONE



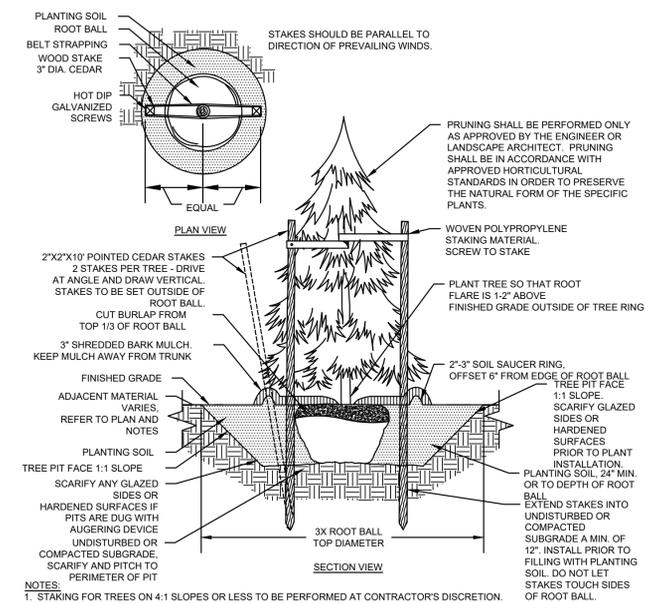
WATER TRENCH
SCALE: NONE



SANITARY TRENCH
SCALE: NONE



STORM TRENCH
SCALE: NONE



TREE PLANTING
SCALE: NONE

- STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
- WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ARBORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
- BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL. SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESSICANT, COMPLETELY REMOVE IT FROM ROOT BALL.

**SITE DEVELOPMENT
LOT #5
BYSIEWICZ INDUSTRIAL
SUBDIVISION**

MIDDLETOWN, CONNECTICUT
BYSIEWICZ DRIVE

DATE:	REVISION:

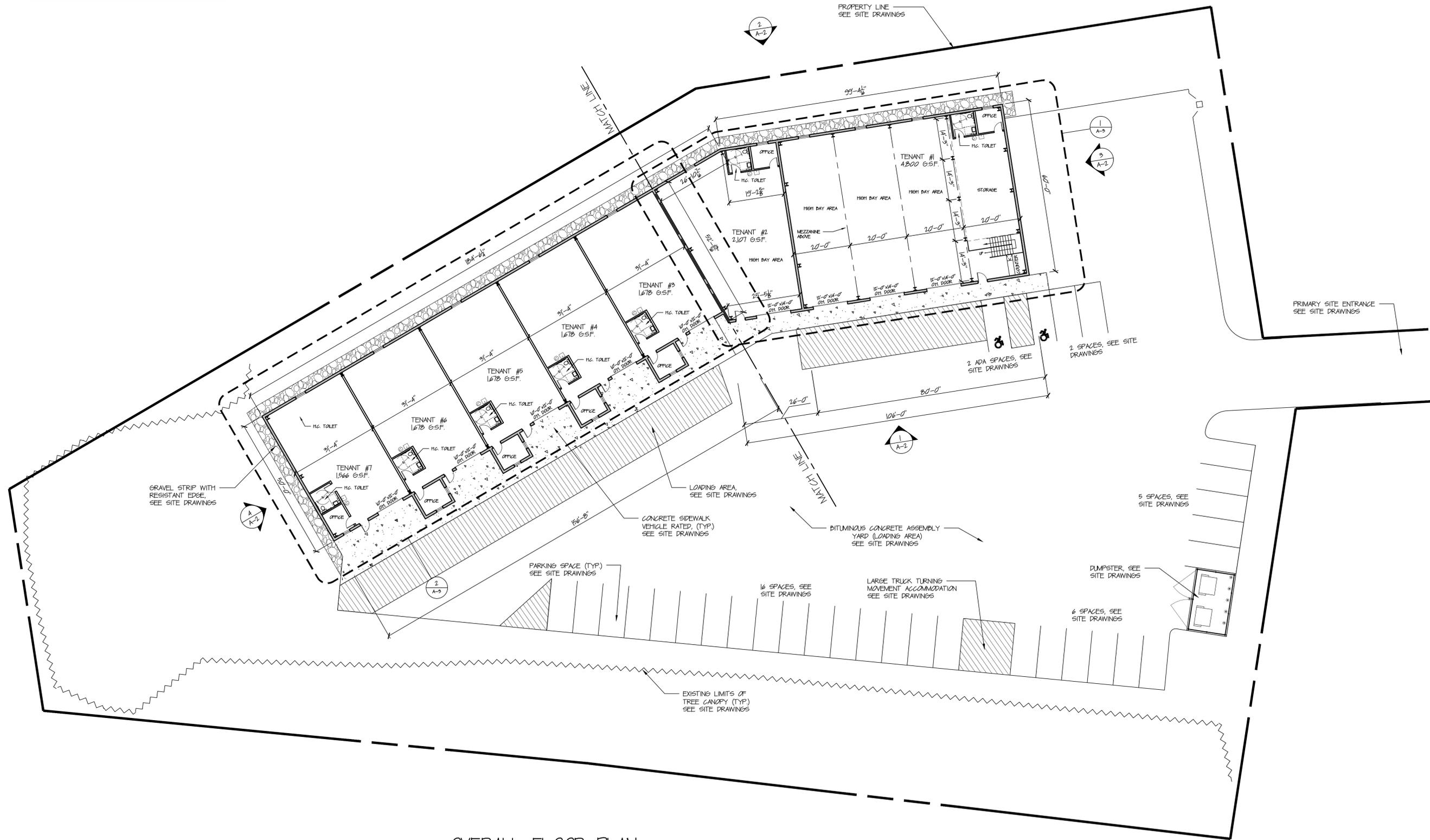


PROJECT NO.: 70620
SCALE: AS SHOWN
DATE: OCTOBER 2, 2020

DRAWN BY: JPE
CHECKED BY: WGW

**SITE
DETAILS**

REFER TO SITE DRAWINGS
FOR SITE INFORMATION



LOT 5 BYSIEWICZ
INDUSTRIAL SUBDIVISION
BYSIEWICZ DRIVE
MIDDLETOWN, CT

HRA
HIBBARD & ROSA
ARCHITECTS, LLC
100 RIVERVIEW CENTER
SUITE 272
MIDDLETOWN, CT
PHONE: (860) 346-1809
EMAIL: hra@hraz.com

OVERALL FLOOR PLAN

DATE: 10-01-2010

REVISED:

COM. # 2010-20

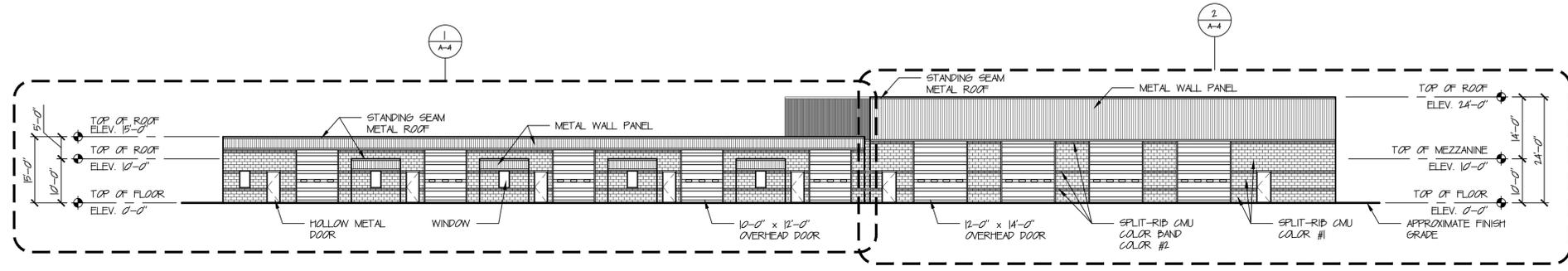
SCALE: 1/16" = 1'-0"

1 OVERALL FLOOR PLAN
1/16" = 1'-0"

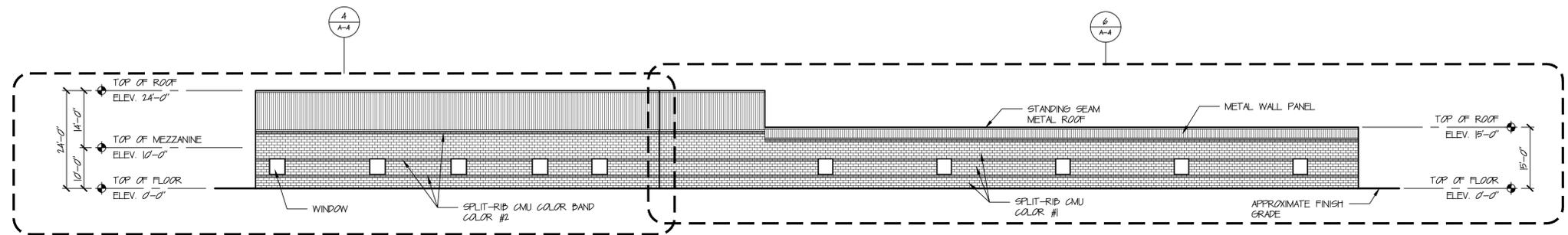
LOT 5 BYSIEWICZ
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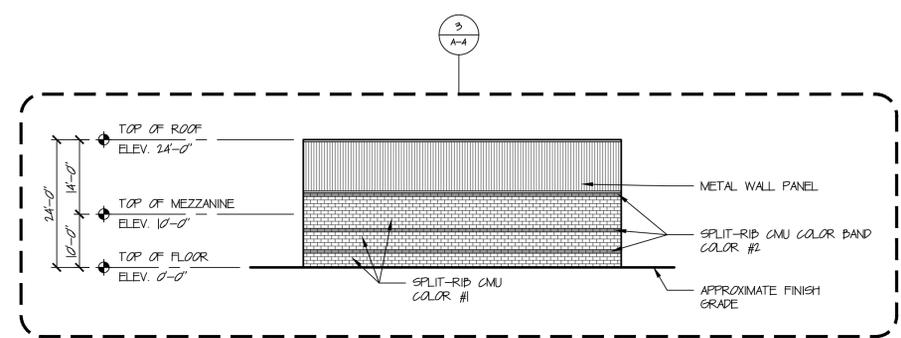
OVERALL ELEVATIONS



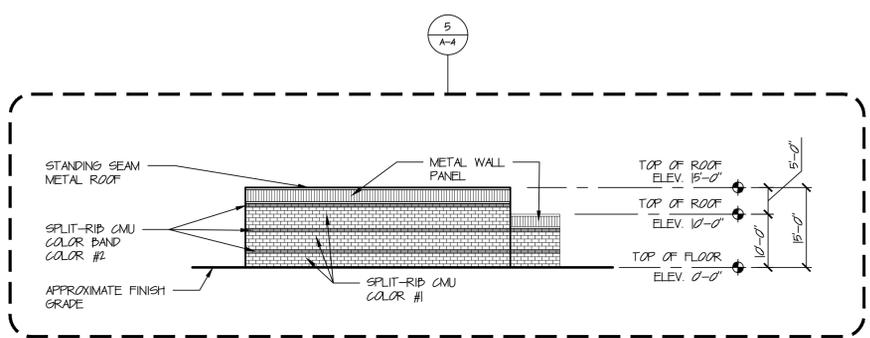
1 EAST ELEVATION
 1/16" = 1'-0"



2 WEST ELEVATION
 1/16" = 1'-0"



3 NORTH ELEVATION
 1/16" = 1'-0"



4 SOUTH ELEVATION
 1/16" = 1'-0"

DATE: 10-02-2010

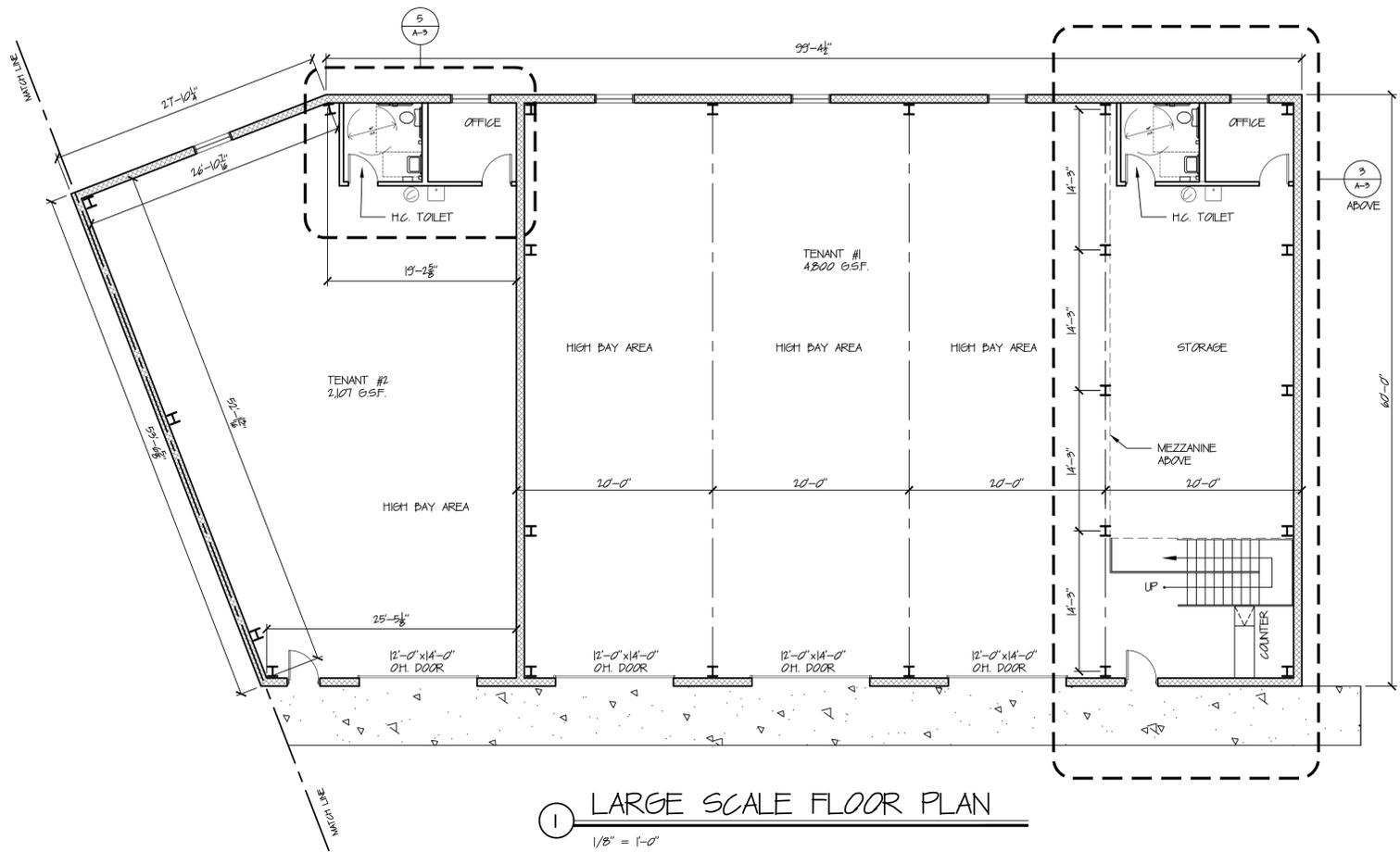
REVISED:

COM. # 2010-20

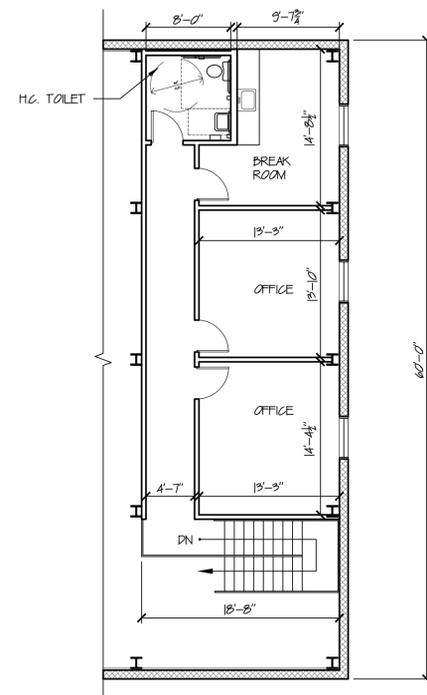
SCALE: 1/16" = 1'-0"

A-2

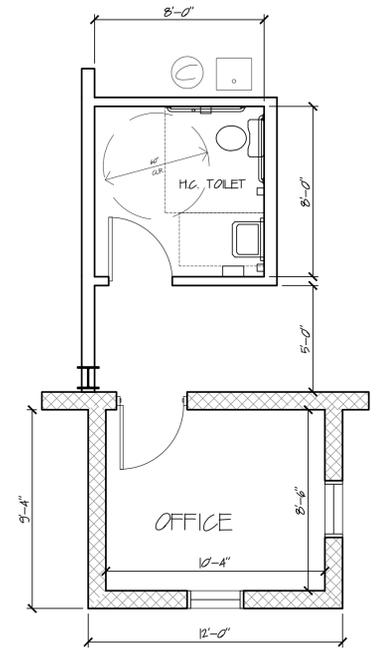
SHEET



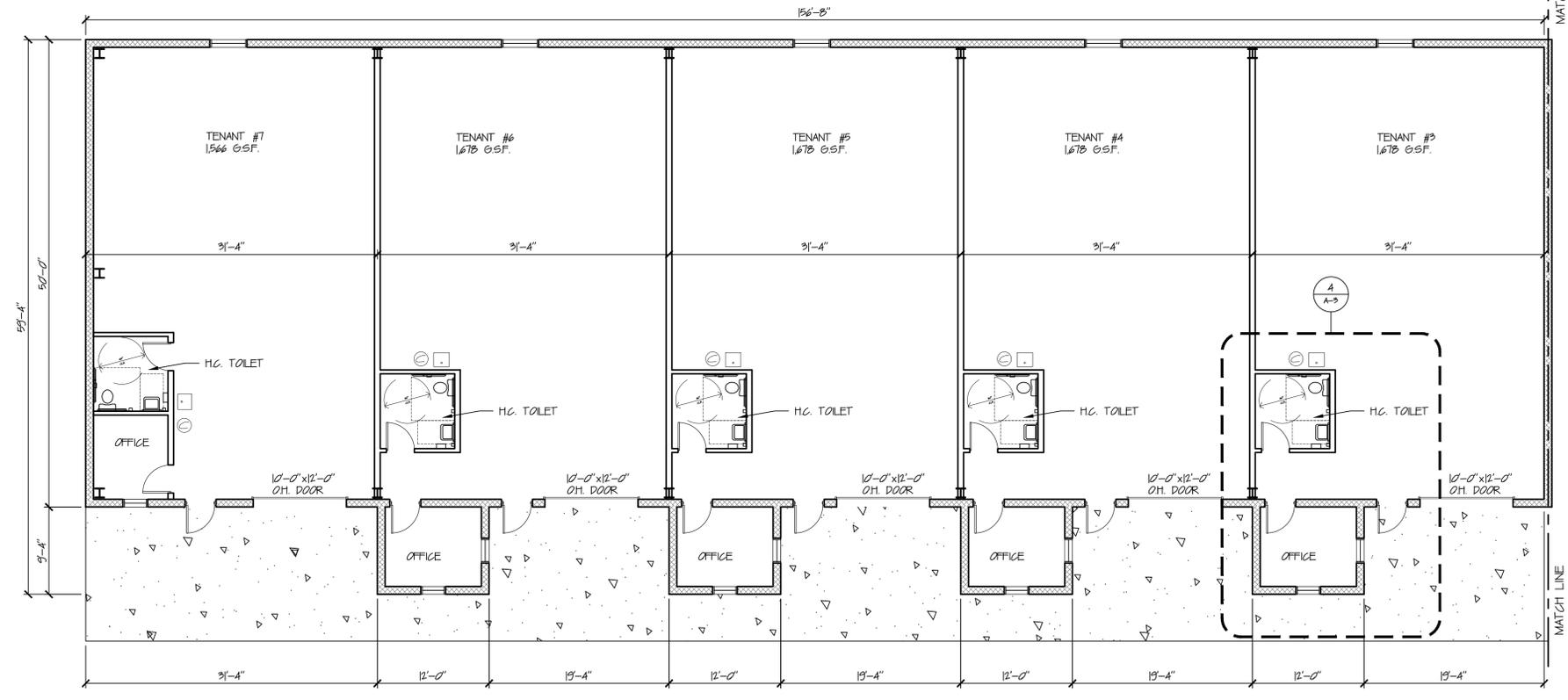
1 LARGE SCALE FLOOR PLAN
1/8" = 1'-0"



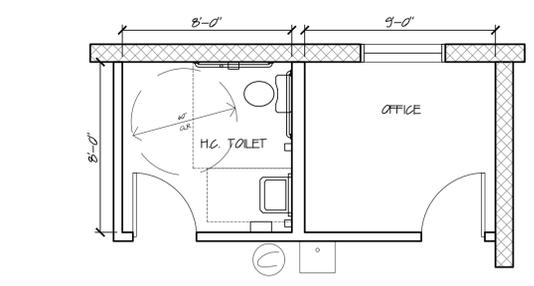
3 MEZZANINE PLAN
1/8" = 1'-0"



4 TOILET ROOM/
VESTIBULE LAYOUT
1/4" = 1'-0"



2 LARGE SCALE FLOOR PLAN
1/8" = 1'-0"



5 TOILET ROOM/ OFFICE LAYOUT
1/4" = 1'-0"

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LARGE SCALE FLOOR PLANS

DATE: 10-01-2010

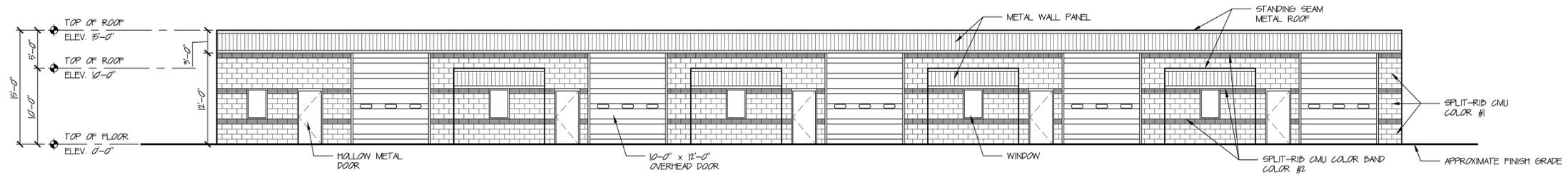
REVISED:

COM. # 2010-20

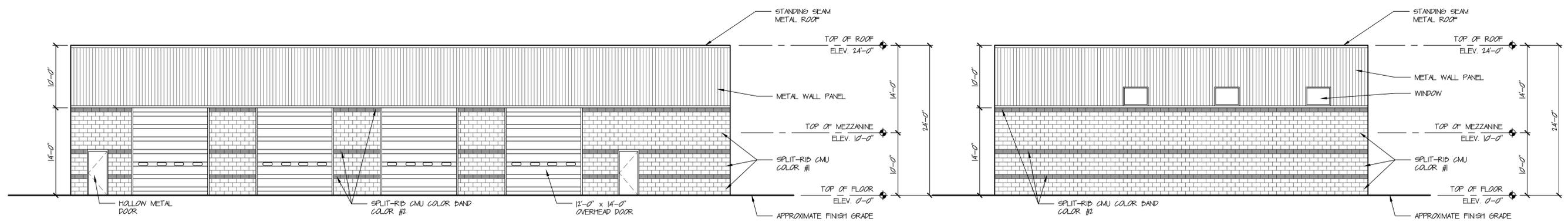
SCALE: AS NOTED

A-3

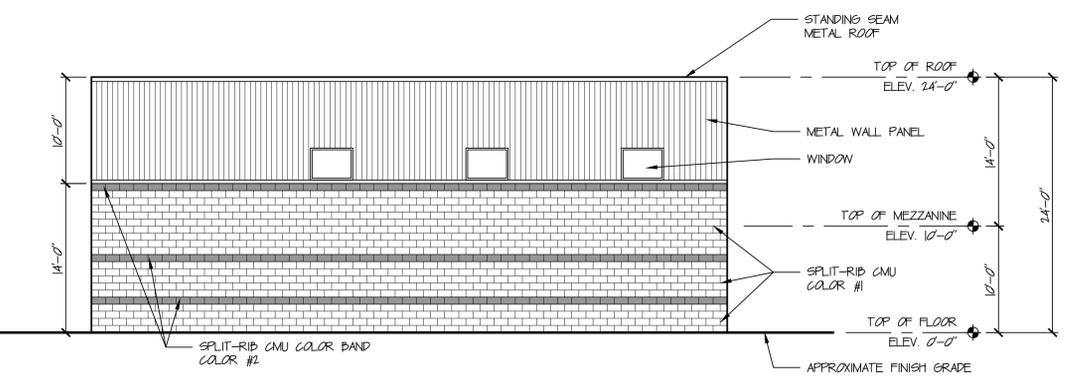
SHEET



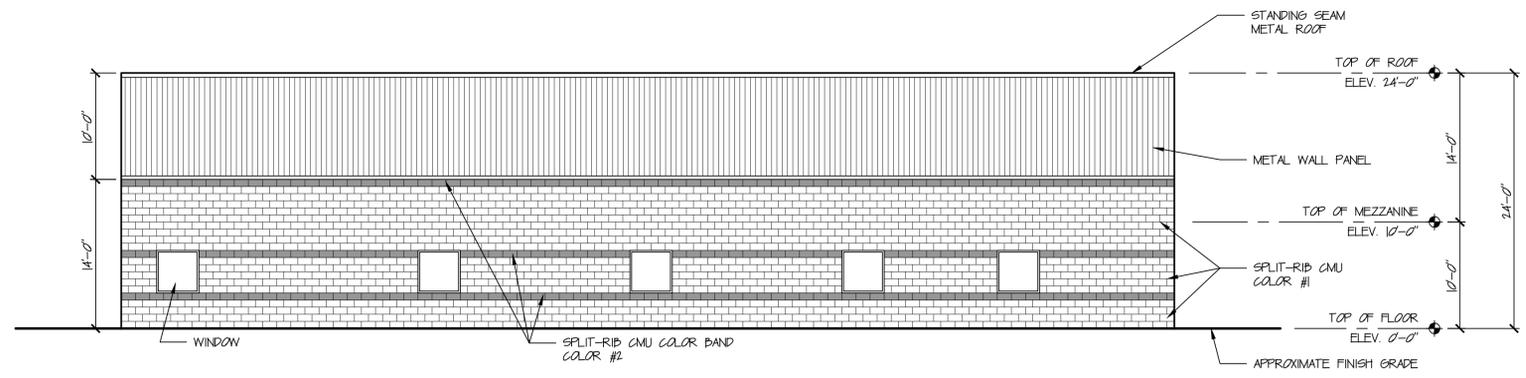
1 LARGE SCALE ELEVATION
1/8" = 1'-0"



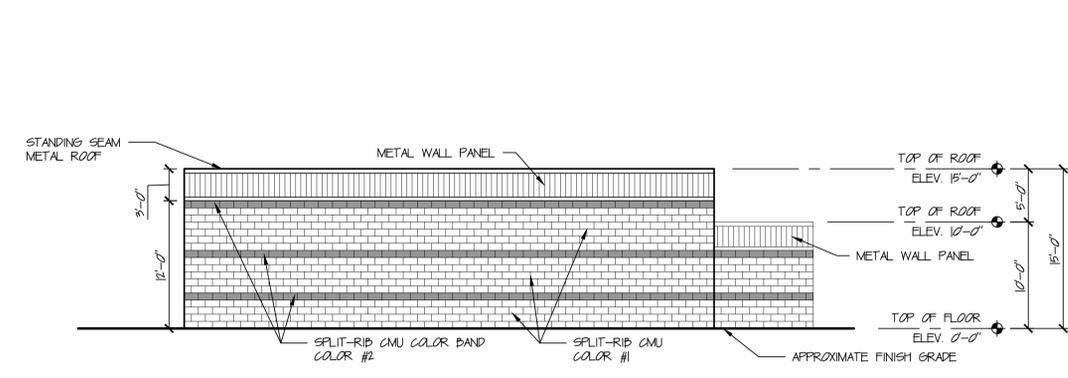
2 LARGE SCALE ELEVATION
1/8" = 1'-0"



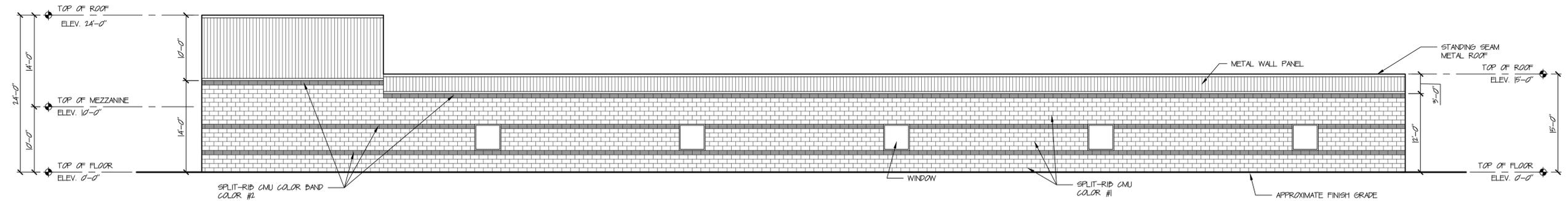
3 LARGE SCALE ELEVATION
1/8" = 1'-0"



4 LARGE SCALE ELEVATION
1/8" = 1'-0"



5 LARGE SCALE ELEVATION
1/8" = 1'-0"



6 LARGE SCALE ELEVATION
1/8" = 1'-0"

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LARGE SCALE ELEVATIONS

DATE: 10-01-2010

REVISED:

CON. # 2010-20

SCALE: 1/8" = 1'-0"

A-4

SHEET