



**The Downtown Housing Analysis of Impediments
and Architectural Feasibility Study**

**339 MAIN STREET
Middletown, CT**

TABLE OF CONTENTS

I. INTRODUCTION

- A. What is the Downtown Housing Analysis of Impediments?
- B. What is Architectural Feasibility Study?

II. METHODOLOGY

III. SUMMARY—IMPEDIMENTS AND ACTION PLAN

IV. EVALUATION OF BUILDING AT 339 MAIN STREET AS IT RELATES TO REGULATION REQUIREMENTS:

- A. Zoning Regulations—*Middletown Zoning Code- effective June 5, 2009.*
- B. Fire Safety Code—*2005 Connecticut State Fire Safety Code –effective December 31, 2005 with 2009 Amendments to the 2005 Connecticut State Fire Safety Code—effective 8/1/2009.*
- C. Building Codes—*2005 State Building Code –effective December 31, 2005 with Corrections to 2009 Amendment to the State Building Code - Connecticut Supplement effective August 24, 2009.*
- D. Accessibility Code— *2010 ADA Standards for Accessible Design with revised regulations for Titles II and III of the Americans with Disabilities Act of 1990 (ADA) published in the Federal Register on September 15, 2010.*
- E. Housing Code—*Fair Housing Accessibility Guidelines – effective March 6, 1991.*
- F. Energy Code—*2006 IECC with reference to ASHRAE 90.1-2004. August 1, 2009.*
- G. Parking Regulations—*Middletown Zoning Code - effective June 5, 2009.*
- H. Hazardous Materials— *OSHA Standards - 29 CFR.*
- I. Permitting Process—*Committees and Commissions making planning decisions:
Planning and Zoning
Commission Zoning Board of Appeals
Design Review and Preservation Board
Inland Wetlands and Watercourses Agency
Building Department Review.*

V. PROPOSE REHABILITATION OF THE UPPER FLOORS FOR ONE, TWO AND THREE BEDROOM APARTMENTS.

VI. POSSIBLE ALTERNATIVES FOR HANDICAP ACCESSIBILITY WITH PARKING OPTIONS.

VII. PRO FORM COST REPORT.

A. What is the Downtown Housing Analysis of Impediments?

This *Downtown Housing Analysis of Impediments* was carried out by the WOJAS.ARCH LLC. It is a review of impediments to downtown housing redevelopment in Middletown, CT, covering the full array of federal and state codes, municipal regulations, public policies, practices, and procedures affecting housing redevelopment choices. This document was prepared for Department of Planning, Conservation and development City of Middletown, as a part of Downtown Housing Incentive Zone. The purpose of this analysis is to identify possible existence of impediments.

B. What is Architectural Feasibility Study?

The Feasibility Study provides a comprehensive assessment of the Building Envelope, Structure and Mechanical, Electrical and Plumbing components. It serves the decision maker as a guide for determining the economic solution to any building problem.

Feasibility Studies are an essential part of planning when it comes to developing a project. It allows the decision maker to determine whether their idea for the chosen property or existing building is viable, how likely it will be to get the results that they expect in the end and how to maximize of the most economic solutions.

This *Downtown Housing Analysis of Impediments and Architectural Feasibility Study* was created in the four-fold process:

1. **Inspection and Schematic Survey of Existing Building and Parcel.**

Purpose: To develop the Overall state of existing property.

Process: We photograph and document the existing exterior envelope and interior of the building. Research the regulatory limits on the property, including the local Zoning Ordinance and Building Code Regulations that apply. We learn the Site, as we consider the objectives of the program, we will include the aspects of the natural site and existing installations that will influence the design options considered. These considerations will include the property access, distances to other buildings, existing views (of the site and from within the site), existing built facilities including neighboring structures, landscape materials, topography and drainage.

2. **Code and Regulations Research** as they pertain to the Existing Building and Parcel. Refer to Table of Contents for the list of applicable Codes and Requirements.

3. **Architectural Feasibility Layouts** - Observed buildings where functions appear to be constrained by the physical space and layout.

Purpose: To identify functional problems that are a result of inappropriate or inadequate space and layout, and to recommend operational practice and structural modifications that will provide code compliance of the parking, site access and the building, and reduce the cost of remodeling and operating.

Process: Perform property inspection and make recommendations for correcting stated or observed problems.

4. **Pro Forma cost report.** Pro Forma Cost Report is a prediction of future of costs, rather than a summary of costs of proposed adjustments.

Purpose: Created a Pro Forma Cost Report gives benchmarks with which different measures of financial decisions may be compared, and helps to develop budgets for renovations and operations. Creating pro forma cost reports entails making realistic estimates.

Process: Based upon the concept plan, a preliminary cost estimate was developed that includes all cash outlays required until opening to the public. These costs include demolition, renovation and new construction. The construction cost estimate was developed in conjunction with a general contractor to assure that it reflects local building costs.

SUMMARY— IMPEDIMENTS AND ACTION PLAN



Introduction

The **Commercial Building** at 339 Main Street was originally erected as the YMCA in 1892. It is listed as a object of historic importance on "*CONNECTICUT NATIONAL REGISTER OF HISTORIC PLACES*" dated: June 5, 2007 as a part of "*MAIN STREET HISTORIC DISTRICT*", described as "*Middletown, Roughly Main St. between College and Hartford Aves., 06/30/83*".

2005 State Building Code – effective December 31, 2005 with Corrections to 2009 Amendment to the State Building Code - Connecticut Supplement effective August 24, 2009, in *Section 3407.1 Historic buildings*, states "Exception may be granted to the provisions of this code for historic structures pursuant to section 29-259 of the Connecticut general Statues".

AMENDMENTS TO THE 2003 INTERNATIONAL, EXISTING BUILDING CODE, CHAPTER 1 – ADMINISTRATION (Add) 101.13 Means of egress. In addition to the requirements of this code, means of egress in existing buildings shall meet the requirements of the provisions of Part IV of the Connecticut State Fire Safety Code for the proposed occupancy.

Unless the exceptions are granted due to the historical value of the building any additions or alterations to any building or structure shall conform with the requirements for the current code (refer to Section 3403, IBC 2005).

The following summary represents the list of impediments observed in the building. The purpose of this summary is to show the state of the existing building and how the existing conditions confirm to the current codes and regulations and how it may affect the future use and occupants of the building.

Site. Zoning

The Property at 339 Main Street contains approximately total of 26,000 sq. ft. plus basement. The building built in 1885 is located on 0.44 acres lot.

The frontage equals 80 feet is facing Main Street. The foot print of the building is equal 8,138 sq. ft., which is 42.46% of the total lot coverage. The building is located in zone B-1.

Exterior envelope: walls, roof, windows, doors

The existing masonry walls require some areas to be repointed. It especially shows at the parapet walls and the chimney. We observed some water damage located in basement, near the inside corners of the building and at the locations of missing or malfunctioning gutters. All exterior walls are brick veneer, except for walls of the new loading dock addition, which has a CMU single wythe walls. The thermal insulation of the existing exterior walls are not code compliant. The basement

SUMMARY— IMPEDIMENTS AND ACTION PLAN



masonry walls seem not to have any moisture proofing nor damproofing. The fire rating of the exterior walls separating fire areas has to be confirmed. Some code violation of protective openings in fire rated walls were observed. Especially on the second and third floor courtyard windows. Refer to the second and third floor evaluation sheets for details.

The building has three types of roofs: pitched (above gymnasium), flat wood structure and metal deck on steel beams (over the newest loading dock addition). The evaluation sheet of the roof plan shows the locations of the roof leakage. There is a number of malfunctioning gutters, downspouts and water leaders. All roofs have to be inspected for the structural soundness and condition of roofing systems. None of the roof systems have any thermal insulation materials.

The building has two types of windows: first floor at the main street level has single glazed aluminum store front system. All other windows are single glazed wood windows. Most of the wood windows are single hung type. The Main street front at the second floor has wood window units with some fixed panels. Some of the glazing is missing and many windows are boarded up with plywood. There is a number of existing windows on the second and third floor, which are opened into the courtyard. In order to comply with code requirements of protective openings in fire rated walls, they have to be either eliminated or replaced with new fire rated windows. All existing windows do not comply with current energy code requirements. There is a reasonable suspicion of containment of some hazardous materials in the paint and glazing mastic. This opinion is based on the age of the windows and needs to be verified.

Basement

The existing basement has musty smell indicating wet environment. The water is coming in through the exterior masonry walls. It has to be determined, if this is a drainage problem or missing moisture proofing or damproofing of walls below the ground level. There is water damage and water penetration near the area of freight elevator shaft at the back side of the building. Some of the moisture may come up from underneath the slab-on-grade. Almost all building of this age do not have any moisture barrier below the concrete floor. The basement is divided with new metal stud gypsum board as a mean of tenant separation partition. The unoccupied portion of the basement has only one noncompliant egress stair. The single run stair, which is too narrow, has low overhead clearance and does not have any fire rated egress enclosure. The raisers and handrails are not code compliant. The second mean of egress has to be provided. The existing freight elevator shaft does not provide fire rated enclosure. This level does not have any handicap accessible access.

SUMMARY— IMPEDIMENTS AND ACTION PLAN



The space is not ventilated. Some mechanical equipment is located throughout the unoccupied space.

First floor

The existing first floor is divided into three separate spaces. One area (significant portion of the floor) is vacant. The floor is not leveled and needs to be assessed by a structural engineer for stability and floor load capability. The most of the floor seems to be hardwood planks covered with carpet. The front portion of the space has high ceiling. The front portion of the exposed plaster ceiling has very decorative details. The back has a wood structured mezzanine, which used to be an office space. The space below the mezzanine and mezzanine have low ceilings (below code required height). The mezzanine has only one narrow access stair off the freight elevator shaft. The stair does not have a fire separated enclosure. Some of the columns have damaged gypsum board enclosure. The major portion of the floor is handicap accessible. The exit on the back of the building is not accessible and egress stair is not code compliant. The ceiling near the open stair case leading to the second floor is open and some fire damage of the few floor joists was observed. The lobby, elevator and stair access to the upper floors is located on the main street side of the building. This stair and elevator is not code compliant. Refer to evaluation sheet of the first and second floor. The first floor space is not ventilated. Some mechanical equipment is located there.

Second floor

The existing second floor is divided into three spaces by fire walls. The continuity fire separation has to be confirmed and fixed as needed. The Main street side area (almost half of the floor) is divided into one and two bedroom apartments. All doors and hardware is not code complaint. The corridor walls do not have a half hour fire rating characteristics. The most of the floor seems to be hardwood planks covered with carpet. The front portion of the space has high windows with low window sills. Current code requires low glass panels to be made of safety glass. The four windows facing the courtyard roof have to be fire rated or eliminated to comply with fire wall separation requirements. The back of the building has large open space, which used to be a gymnasium. The existing suspended gypsum board ceiling has opening to the space above. The floor has original hardwood gymnasium planks. This space has a number of windows, which do not provide code required protective opening in fire separation wall. The space does not have adequate egress capabilities. The doors and stairs have to be modified to provide egress if this space needs to be used as a mercantile or assembly use. The floor needs to be assessed by

SUMMARY— IMPEDIMENTS AND ACTION PLAN



a structural engineer for stability and floor load capability. The stair does not have a fire rated enclosure. The floor is not handicap accessible. The exits on the back of the building are not accessible and egress stair is not code compliant. The lobby, elevator and stair access is not code compliant. Refer to evaluation sheet of the first and second floor. The first floor space is not ventilated. The sound transmission control materials do not exist on this floor. Almost all apartments have original plumbing appliances, lights, switches, etc.

Third floor

The existing third floor is divided into three spaces by fire rated walls. The continuity of fire separation has to be confirmed. The Main street side area (almost half of the floor) is divided into one and two bedroom apartments. All doors and hardware is not code complaint. The corridor walls, borrow lights and doors do not have a half hour fire rating characteristics. The corridor has 27 feet long dead end, which is not allowed by the code. The most of the floor finishes seem to be hardwood planks covered with carpet, linoleum or PVC tiles. Both the adhesive and PVC tiles need to be tested for asbestos. The front portion of the space has high windows with low window sills. Current code requires low glass panels to be made of safety glass. The four windows facing the courtyard roof have to be fire rated or eliminated to comply with fire wall separation requirements. The back of the building has space open to below, which used to be a gymnasium. This space has a number of windows located high above floor. The doors and stairs have to be modified to provide egress if this space needs to be used as a mercantile or assembly use. The floor needs to be assess by a structural engineer for stability and floor load capability. The stair does not have a fire rated enclosure. The floor is not handicap accessible. The exterior exit stair on the back of the building is not code compliant. The lobby, elevator and stair access is not code compliant. Refer to evaluation sheet of the first and second floor. The first floor space is not ventilated. The sound transmission control materials do not exist on this floor.

Vertical circulation

The vertical circulation of the building is provided by small elevator connecting the basement and all floors. It does not seem the shaft has a code compliant fire rated enclosure. The doors are not fire rated doors. The operation and signs are not ADA compliant. Mechanical and electrical evaluation was not done, but most likely needs an update. Considering the current elevator codes, this elevator needs to be replaced. The new elevator needs to have four stops: at the basement (-10 ft.), first floor (0.00 ft), second floor (15 feet 5 inches) and third floor (27 feet 3 inches).

SUMMARY— IMPEDIMENTS AND ACTION PLAN



The total rise of over 37 feet. It may be that the new elevator will not fit into the existing shaft and it will create a need for reframing the floors and construction of a new masonry shaft. Considering the total rise of 37 feet the Limited Use/ Limited Application elevator (less expensive type of elevator) cannot be use.

The stair adjacent to the elevator and connecting first floor with two upper floors is not up to code. Considering the number of violations—this stair has to be replaced. Refer to evaluations sheets for detailed list of impediments.

The second means of egress from this portion of the building—the exterior emergency egress stairs are not up to code. The outside threshold is higher than 8 inches, risers are more than 7 inches, guardrail and rail is to low, the stair is to narrow.

The first floor and second floor of mercantile use is connected with open staircase, which cannot be consider as a egress stair. The second floor of mercantile use does not have legal two ways of egress.

The freight elevator's shaft is not up to code and needs to be updated.

Fire Protection

All floor areas and all concealed spaces in the building have installed sprinkler system. The pipes are disconnected in couple of locations. The system may not be operable in it's entirety or in portion due to the vacancy of the building. Making any changes to the existing layout will affect the layout of Fire protection System. We observed some old and new smoke sensors and partially disconnected fire alarm system. This system needs to be update due to code restrictions.

Mechanical

The partially disassembled mechanical system is present only in the basement and the first floor. The new mechanical system would need to be implemented and layout provided per requirement of the new use.

Plumbing

The basement and the first floor does not have any plumbing fixtures. The second and third floors have outdated plumbing system and all appliances are outdated as well.

SUMMARY— IMPEDIMENTS AND ACTION PLAN



Electrical

The electrical system of the building has been updated as per need bases, so the new and old wiring and fixtures intertwine in basement, first floor and second floor. It does not seem that third floor electrical was updated and it still has the original system.

Hazardous materials

The building or at least the major portion of the basement, first floor and entire upper floors are vacant for last few years. This contributed to rather noticeable quantities of bird droppings, mostly on third floor. Some number of dead birds was noted as well. We observed a few roof leaks or water leaks causing some damage to the walls, floors and finishes. There are some areas, where it is a great chance of existence of mould. All wood windows may have a possible containment of lead paint and hazardous material in glazing mastic. Some types of floor finishes (mostly on the third floor) indicate possibility of asbestos contents.

SOUND TRANSMISSION

there is no sound transmission control materials observed in any of the building components

CODE COMPLIANCE

Building type was determined to be type III B. Total area of existing M type occupancy is about 13,850 sq. ft. (350 sq. ft. of mezzanine included) Presently, the space is divided between three tenants. The existing area is within Code area limitation increased by existing sprinkler system.

Freight elevator does not have any fire-rating opening protectives on any floor



Vertical exit enclosure - fire rating of walls, ceiling and doors is not retain.

ENERGY CODE NON-COMPLIANCE

No thermal or moisture barrier was observed

ACCESSIBILITY

there is no handicap access from first floor (mercantile portion of the floor) to either: basement, mezzanine, upper floors or mezzanine

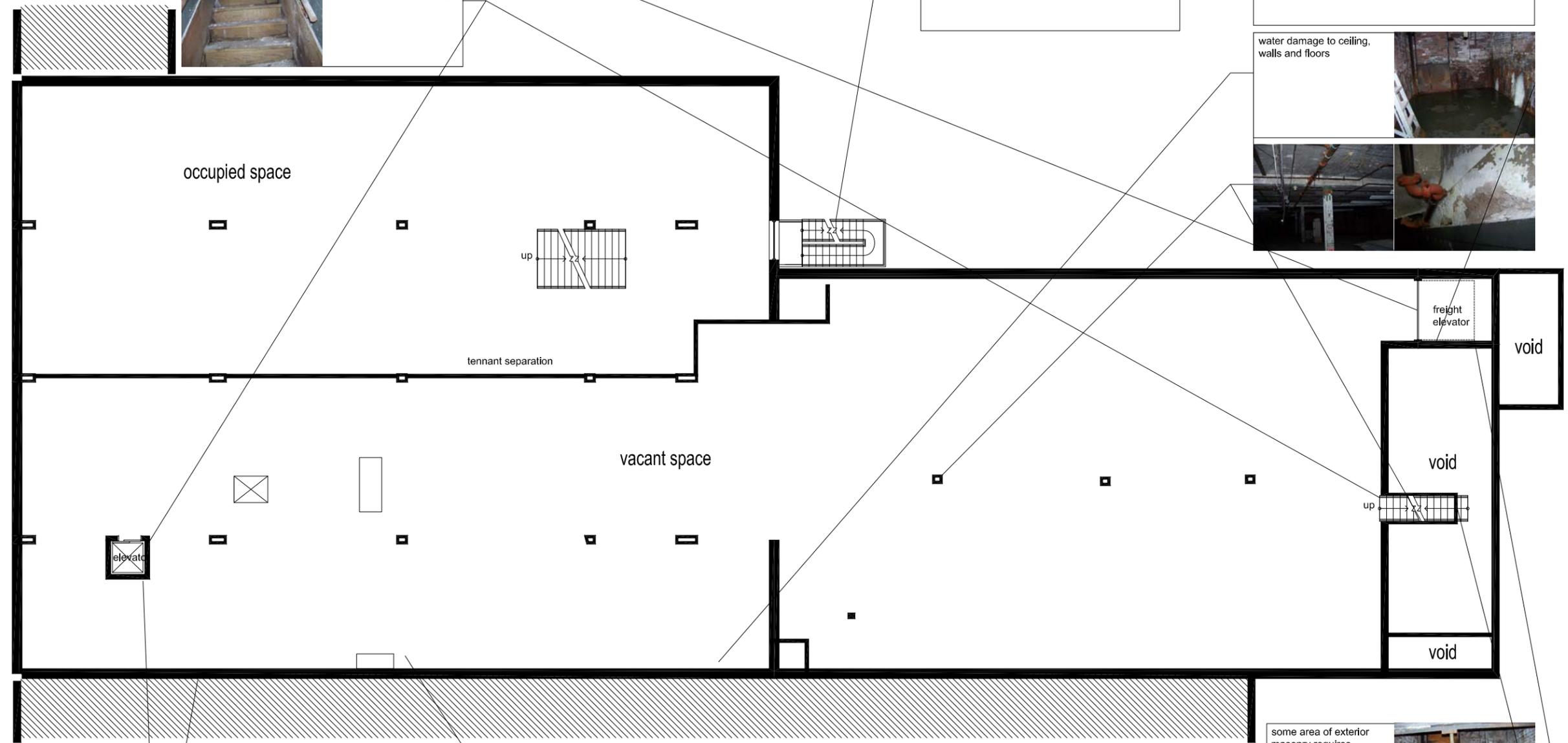


There is no bathrooms in basement

BUILDING PHYSICAL CONDITION

exterior walls: stone
 doors: wood or steel
 interior partitions: metal stud with gypsum board on both sides
 ceiling height: 9 ft 0 inches to bottom of plaster ceiling 8 ft to bottom of beam
 structure: steel columns -un-protected steel beams - protected concrete slab on grade

water damage to ceiling, walls and floors



some area of exterior masonry requires repointing



The only access stair has low overhead clearance the stair is too narrow



The fire separation of the elevator shaft was not determined. Opening protective of the shaft does not comply with code. There was no HC signs. Controls are not in compliance with Code. The car compliance was not determined.

Code classifies use of this floor as M - Mercantile occupancy. Fire wall separating from other buildings should be 3 hour rated

there is some limited existing HVAC equipment this area has no ventilation

ceiling - painted plaster wall - stone or brick floor - concrete exposed sprinkler system exposed conduits, exposed piping and mechanical ducts



there is musty smell indicating presence of mould there is a high level of dampness



CODE COMPLIANCE

INTERIOR ENVIRONMENT

FINISHES

HAZARDOUS MATERIALS

BUILDING PHYSICAL CONDITION



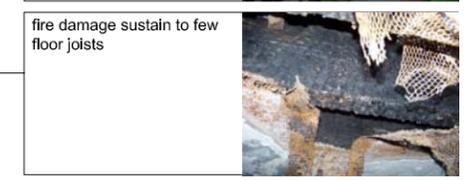
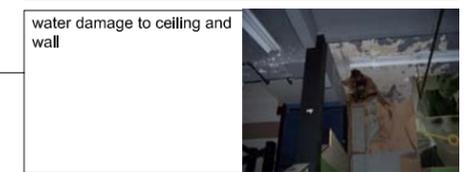
BUILDING PHYSICAL CONDITION

exterior walls: exterior brick veneer
 front: aluminum store front - single glazing
 windows: wood - single glazed
 doors: wood or steel

interior partitions: wood stud with gypsum board on both sides

ceiling height: 14 ft 3 inches to bottom of plaster ceiling
 12 ft 6 inches to bottom of upper beam
 12 ft 3 inches to bottom of lower beam

structure: steel columns -protected
 steel beams - protected
 wd. floor joists - 13x3 @16 O.C. with plaster underneath



ACCESSIBILITY

there is no handicap access from first floor (mercantile portion of the floor) to either: basement, mezzanine, upper floors or mezzanine



existing exterior steel emergency egress stair connect two upper floors to the ground level



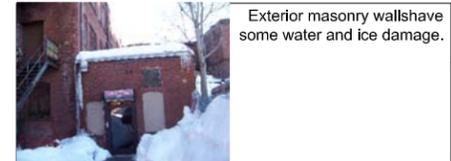
there is no public bathrooms on first floor



ENERGY CODE NON-COMPLIANCE

Exterior envelope: masonry walls, windows, doors and roof do not comply with current energy code requirements.

BUILDING PHYSICAL CONDITION



Exterior masonry wallshave some water and ice damage.

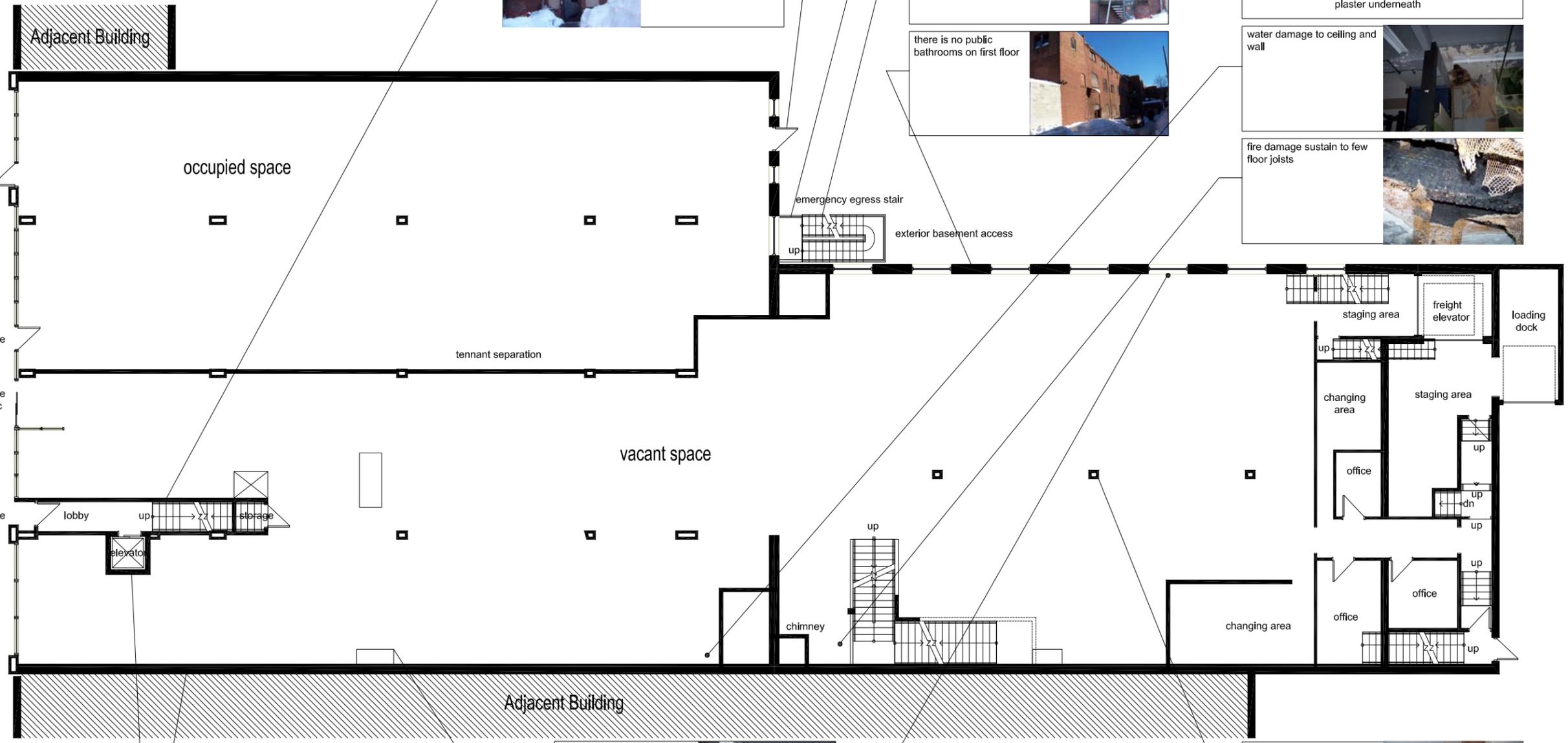
CODE COMPLIANCE

Building type was determined to be type III B. Total area of existing M type occupancy is about 13,850 sq. ft. (350 sq. ft. of mezzanine included) Presently, the space is divided between three tenants. The existing area is within Code area limitation increased by existing sprinkler system.

Vertical exit enclosure - fire rating of walls, ceiling and doors is not retain. Storage underneath stairs does not have 2 hour fire separation from stair enclosure.

SOUND TRANSMISSION

there is no sound transmission control materials observed in any of the building components



existing hardwood floor is covered with carpet. The floor is not even and wet



existing wood windows may have lead paint



there is musty smell on the back of the building indicating presence of mould

ceiling - painted plaster wall - painted or covered with slotted panels
 floor - carpet
 exposed sprinkler system
 exposed conduits



there is some limited existing HVAC equipment, which suggest the mercantile portion of the floor had airconditioning system

The fire separation of the elevator shaft was not determined. Opening protective of the shaft does not comply with code. There was no HC signs. Controls are not in compliance with Code. The car compliance was not determined.

fire separation of occupancies M - Mercantile of the first floor and R-3 residential occupancy of second floor is not required

Code classifies use of this floor as M - Mercantile occupancy. Fire wall separating from other buildings should be 3 hour rated

BUILDING PHYSICAL CONDITION

HAZARDOUS MATERIALS

FINISHES

INTERIOR ENVIRONMENT

CODE COMPLIANCE



SOUND TRANSMISSION

Sound transmission control materials were not observed in any of the building components

CODE NON-COMPLIANCE

- Existing windows in the Main Street elevation have window sill at 16" above floor, but the glass panels are not safety glass, as required by code.
- All corridor walls and doors are not in compliant with Code's requirement of a half an hour rating.
- Most of doors are less than 3 ft in width. All doors have knobs and do not comply with ADA.
- Dead-end corridor is 27 feet long -max. allowed by Code is 25 feet.

ENERGY CODE NON-COMPLIANCE

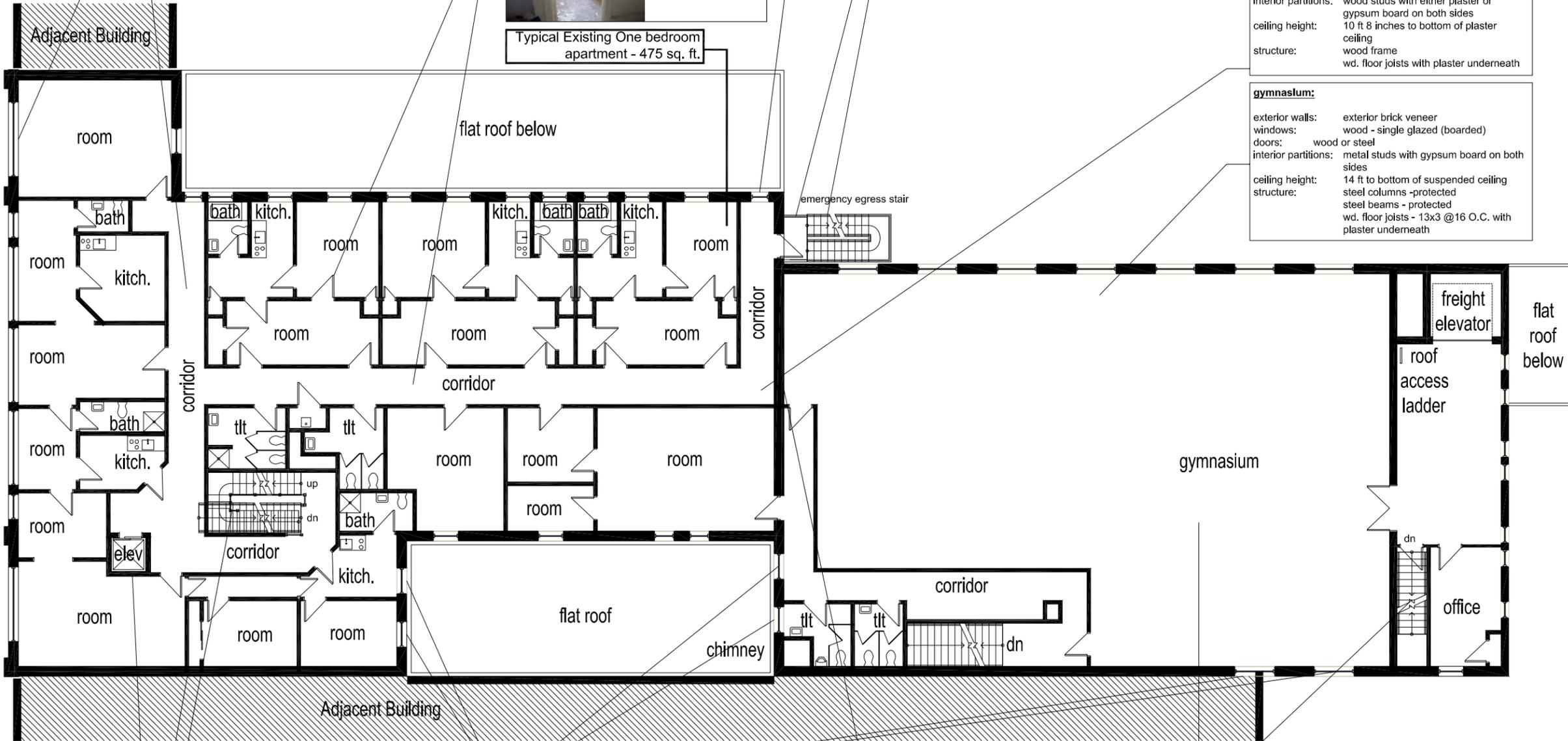
- Existing windows are single glass panels
- All appliances are not code compliant
- Typical Existing One bedroom apartment - 475 sq. ft.

ACCESSIBILITY

- There is no handicap access to this floor.
- Existing exterior steel emergency egress stair connect two upper floors to the ground level. The threshold is more 8 inches required by Code. The guardrail is 32 inches high - Code requires 36 inches. The raisers are 8 inches - Code requires 7 inches.

BUILDING PHYSICAL CONDITION

- rest of the floor:**
 - exterior walls: exterior brick veneer
 - windows: wood - single glazed, sill @ 16 inches, height - 8 feet 2 inches
 - doors: wood
 - interior partitions: wood studs with either plaster or gypsum board on both sides
 - ceiling height: 10 ft 8 inches to bottom of plaster ceiling
 - structure: wood frame wd. floor joists with plaster underneath
- gymnasium:**
 - exterior walls: exterior brick veneer
 - windows: wood - single glazed (boarded)
 - doors: wood or steel
 - interior partitions: metal studs with gypsum board on both sides
 - ceiling height: 14 ft to bottom of suspended ceiling
 - structure: steel columns -protected steel beams - protected wd. floor joists - 13x3 @16 O.C. with plaster underneath



- The fire separation of the elevator shaft was not determined. Opening protective of the shaft does not comply with code. No HC signs. Controls are not in compliance with Code. The car compliance was not determined.
- Fire separation of occupancies M - Mercantile of the first floor and R-3 residential occupancy of second floor is not required
- Code classifies use of this floor as R-3 - Residential occupancy. Fire wall separating from other buildings should be 3 hour rated

CODE COMPLIANCE

- Six existing windows are not fire rated as required by Code.
- Existing stair is not located within 2 hour rated enclosure. Raisers are 7 3/4 inches - Code requires 7 inches. Existing guard rail at 32 inches. Overhead clearance on run to the third floor is 6 feet 3 inches.
- None of spaces have any ventilation.

CODE COMPLIANCE

INTERIOR ENVIRONMENT

- ceiling - painted plaster
- wall - painted plaster
- floor - carpet
- exposed sprinkler system
- some exposed conduits

FINISHES

- Existing sprinkler riser
- Existing pitched roof structure above gymnasium

BUILDING PHYSICAL CONDITION

- Existing wood windows may have lead paint. There is musty smell on the back of the building indicating presence of mould. Some floor finishes indicate the asbestos contents.

HAZARDOUS MATERIALS

- Existing stair is do not have landing on the top of stair. Existing stair do not have area of refuge.

CODE COMPLIANCE

- some area of exterior masonry requires repointing
- most of windows are boarded and in poor condition

BUILDING PHYSICAL CONDITION



SOUND TRANSMISSION

Sound transmission control materials were not observed in any of the building components

CODE NON-COMPLIANCE

- Existing windows in the Main Street elevation have window sill at 16" above floor, but the glass panels are not safety glass, as required by code.
- All corridor walls and doors are not in compliant with Code's requirement of a half an hour rating.
- Most of doors are less than 3 ft in width. All doors have knobs and do not comply with ADA.
- Dead-end corridor is 27 feet long -max. allowed by Code is 25 feet.

ENERGY CODE NON-COMPLIANCE

Existing windows are single glass panels



All appliances are not code compliant



ACCESSIBILITY

There is no handicap access to this floor.

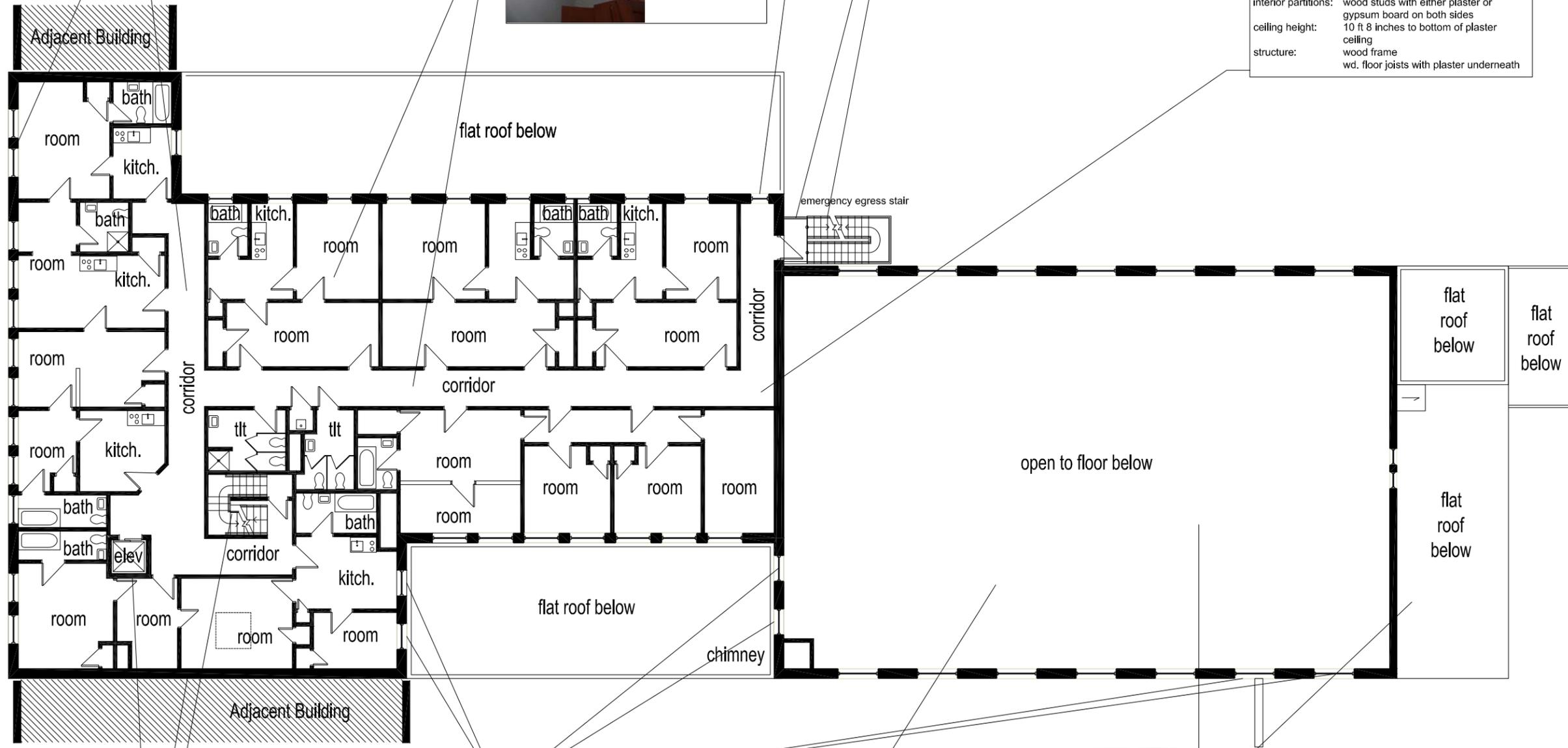
Existing exterior steel emergency egress stair connect two upper floors to the ground level. The threshold is more than 8 inches required by Code. The guardrail is 32 inches high - Code requires 36 inches. The raisers are 8 inches - Code requires 7 inches.



BUILDING PHYSICAL CONDITION

Apartments:

exterior walls: exterior brick veneer
 windows: wood - single glazed, sill @ 16 inches, height - 8 feet 2 inches
 doors: wood
 interior partitions: wood studs with either plaster or gypsum board on both sides
 ceiling height: 10 ft 8 inches to bottom of plaster ceiling
 structure: wood frame wd. floor joists with plaster underneath



The fire separation of the elevator shaft was not determined. Opening protective of the shaft does not comply with code. No HC signs. Controls are not in compliance with Code. The car compliance was not determined.

Fire separation of occupancies M - Mercantile of the first floor and R-3 residential occupancy of second floor is not required

Code classifies use of this floor as R-3 - Residential occupancy. Fire wall separating from other buildings should be 3 hour rated

CODE COMPLIANCE

Ten existing windows located less than 10 feet above adjacent room are not fire rated as required by Code

Existing stair is not located within 2 hour rated enclosure. Raisers are 7 3/4 inches - Code requires 7 inches. Existing guard rail at 32 inches. Overhead clearance on run to the third floor is 6 feet 3 inches.

CODE COMPLIANCE

None of spaces have any ventilation.

INTERIOR ENVIRONMENT

ceiling - painted plaster wall - painted plaster floor - carpet exposed sprinkler system some exposed conduits



FINISHES

Existing pitched roof structure above gymnasium



BUILDING PHYSICAL CONDITION

Existing wood windows may have lead paint. There is musty smell on the back of the building indicating presence of mould. Some floor finishes indicate the asbestos contents.



HAZARDOUS MATERIALS

Existing stair is do not have landing on the top of stair. Existing stair do not have area of refuge.

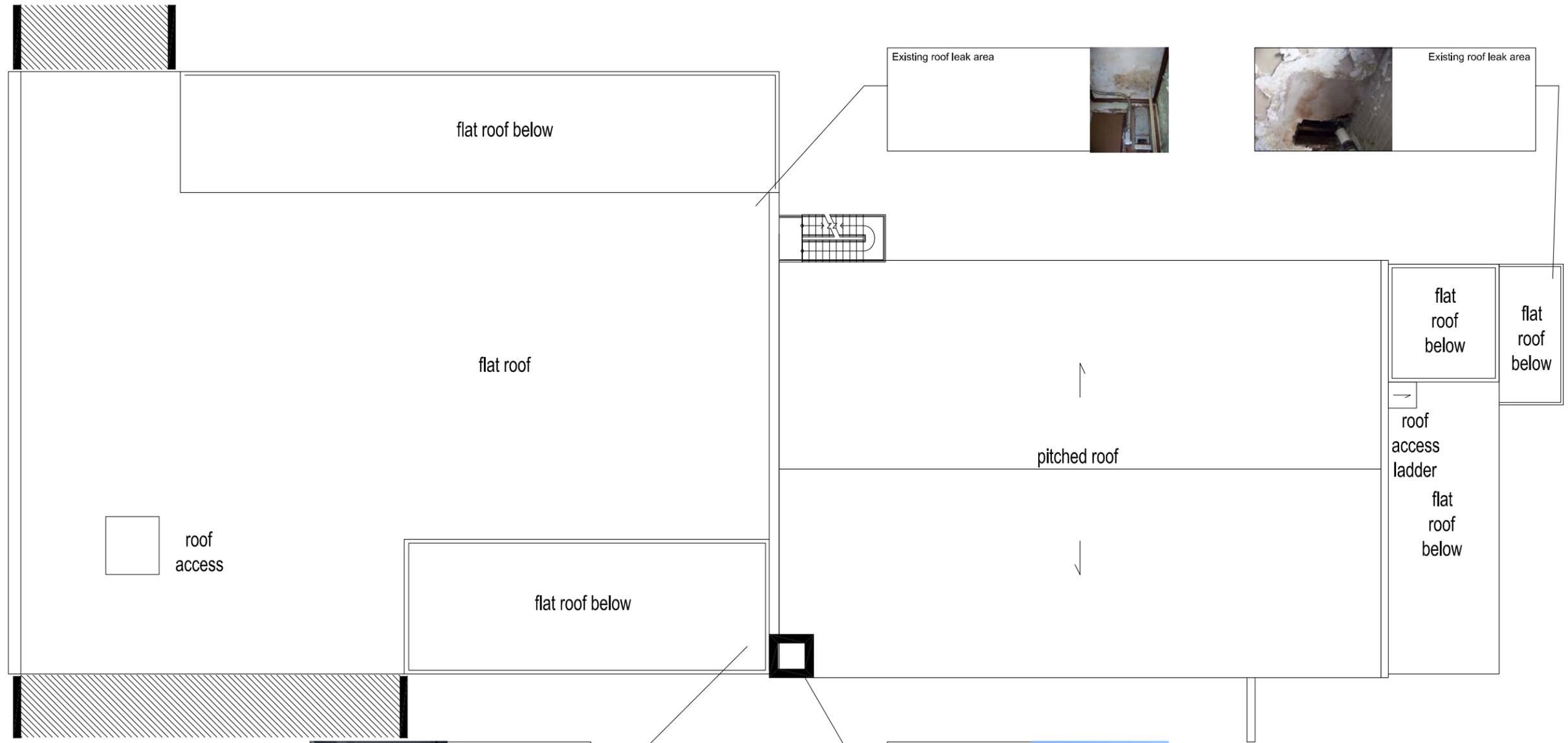
CODE COMPLIANCE

some area of exterior masonry requires repointing most of windows are boarded and in poor condition



BUILDING PHYSICAL CONDITION



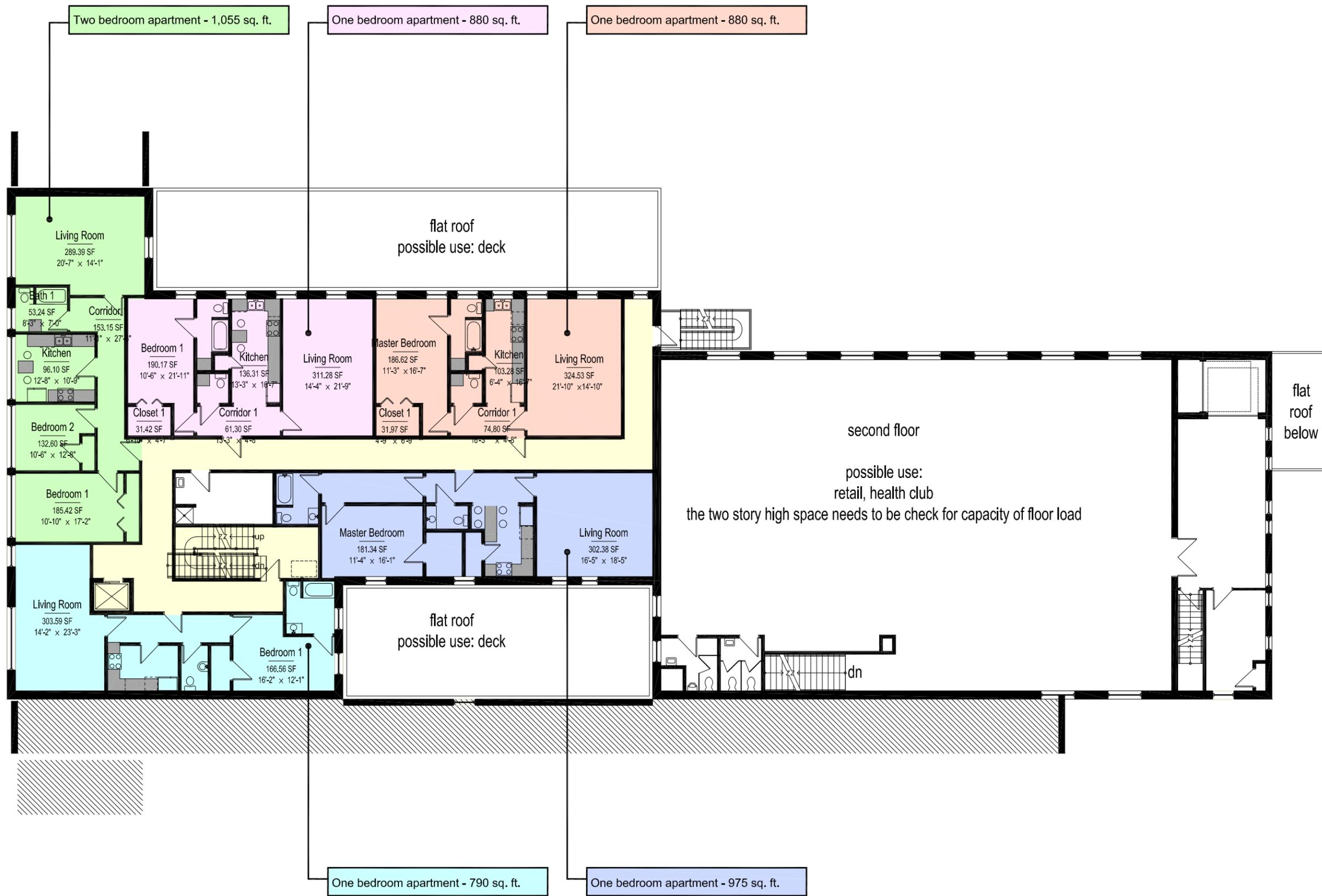


EVALUATION OF BUILDING AT 339 MAIN STREET

ROOF PLAN

SCALE: 1/16" = 1'-0"



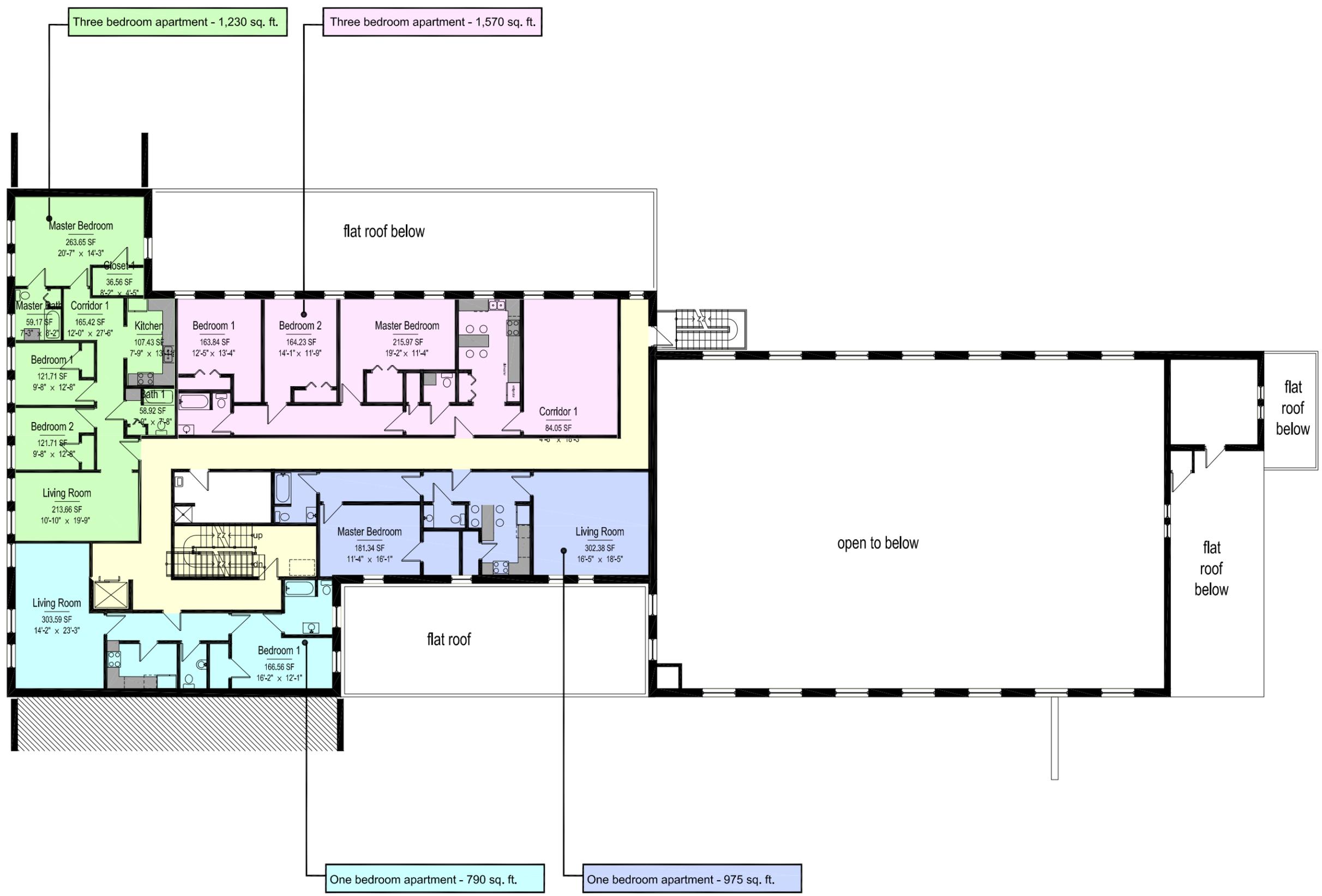


PROPOSE REHABILITATION OF THE UPPER FLOORS FOR
 ONE, TWO AND THREE BEDROOM APARTMENTS

SCALE: 1/16" = 1'-0"

SECOND FLOOR





PROPOSE REHABILITATION OF THE UPPER FLOORS FOR
ONE, TWO AND THREE BEDROOM APARTMENTS

SCALE: 1/16" = 1'-0"

THIRD FLOOR



POSSIBLE ALTERNATIVES FOR HANDICAP ACCESSIBILITY WITH PARKING OPTIONS

The Property at 339 Main Street contains 13,288 sq. ft. building built in 1892 located on 0.44 acres lot and is located in B-1 zone. There is a limited parking with parking meters on Main Street and at the back of the building on existing parking off Broad Street.

Due to the parking constrains it advised to consult with the City of Middletown for possible alternatives for handicap parking. As of today the handicap parking is not provided and handicap access is available only from Main Street.

Here are the zoning requirements as listed in Middletown Zoning Code - effective June 5, 2009:

40.04.18 *URBAN CORE LIVING UNIT- (Including former category of Rooming House) (Eff. 5/15/88) One or no bedrooms- 1.00 spaces Two or more bedrooms- 2.00 Spaces (Amended 5/15/88)*

40.04.19 *RESTAURANT OR SIMILAR PLACES DISPENSING FOOD DRINKS OR REFRESHMENTS (See Footnote #1.) One (1) parking space for each fifty (50) square feet of floor area devoted to patron use, excluding restrooms, within the establishment, and one (1) parking space for each eighty (80) square feet of ground area devoted to patron use on the property outside the establishment and one (1) space for each two (2) employees. as office building. (Effective 8/1/84.)*

FOOTNOTE #1-*"This requirement shall not apply to land-uses in the B-1 Central Business Zone if outside the Redevelopment Project. (No. Conn. R. 105) area except as part of a municipal off-street parking program."*

PRO FORM COST REPORT

The estimated cost should be calculated as average \$/sq.ft. The contingency factor for this type of renovation should be between 15% and 20 % of the total budget. The value, or 'cost per square foot', of any project is determined by a wide variety of factors, and is difficult to present with accuracy until a project's scope has been reviewed. A typical "cost per square foot" range varies, but, as the type of finishes used in the project effect this cost, these estimates should only be used as a guide. Some of the project finishes that determine this cost include; the type and quality of doors, carpets, lighting, wall coverings, feature millwork selected, and others. Total plan provides planning, budgeting and estimating services that allow us to predetermine a 'cost per square foot' for your project, and then carry the project through to completion. The size of job will also affect the cost per square foot. There is one more important factor: prevailing wages. The costs listed below are based on private enterprise. Should the project be a public funded project, the cost will go up about 25% due to prevailing wages based on Department of Labor guidelines.

The estimated cost per square foot:

- repair/spruce up \$35 - \$40
- repair/remodel \$40 - \$50
- substantial remodel \$180 - \$200
- rehabilitation \$200 - \$250
- new addition no plumbing \$120 - \$150
- new addition w/bath \$175 - \$200
- new addition w/kitchen \$280 - \$300
- new addition w/both \$320 - \$350
- new deck \$25 - \$30
- New flat roof: built-up \$230 - \$250, pitched roof \$180 - \$200 per square.
- Existing wood windows renovation maybe very costly and needs to be quoted. Windows replacement with new aluminum windows (most of the time approved by the historical commissions) is \$75.00 per square foot would not be too much of a stretch. The additional options that might affect the cost is that contractor will need a lift, street permit, and/ or police detail to do the work.
- Cost of replacing the elevator may vary from \$14,000 to \$160,000



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